

CONSTRUCTION

SLEEPY HOLLOW
COMMUNITY CENTER
RENOVATION



TEAM

SCHEDULE

DRAWINGS



TEAM

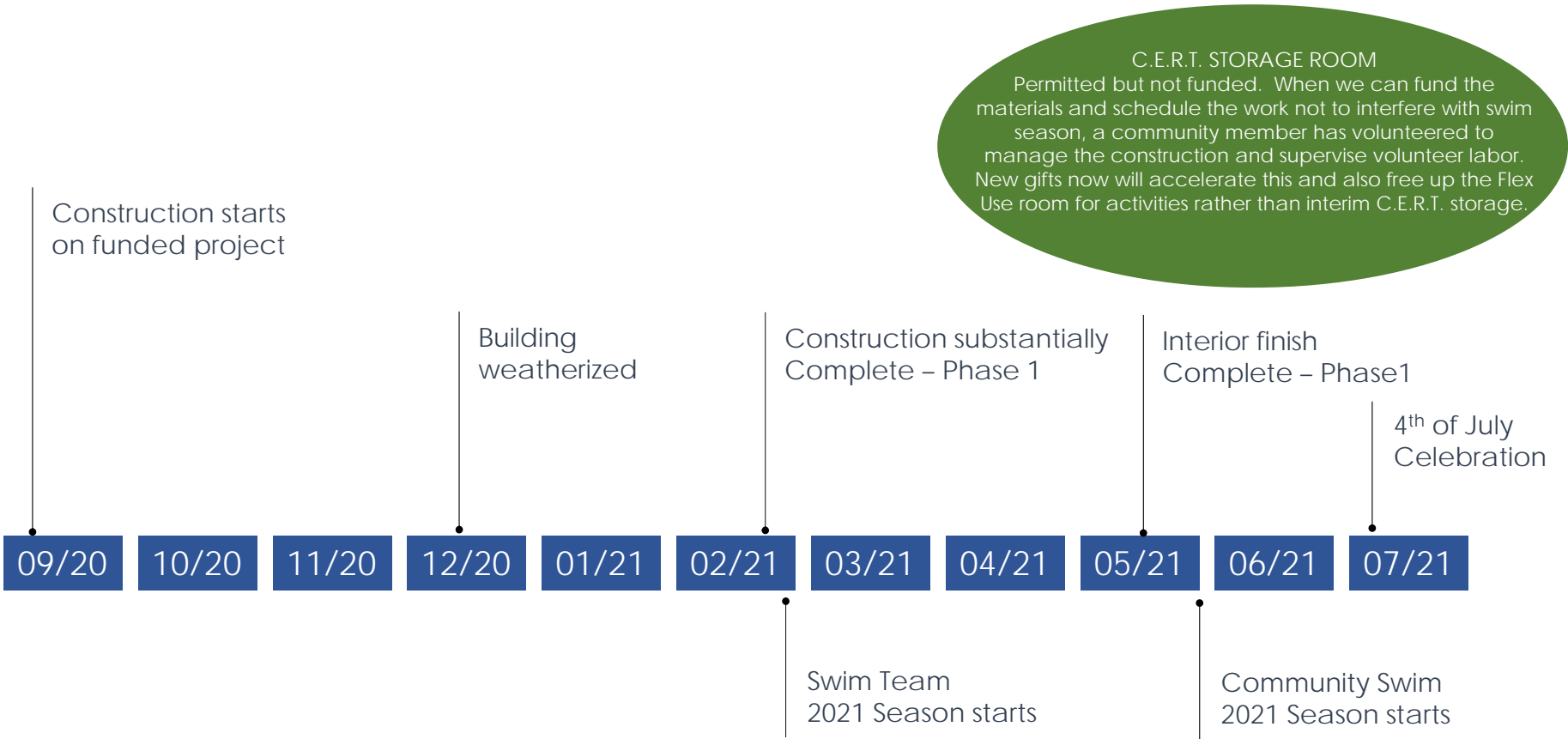
Steven Knox – Construction Manager

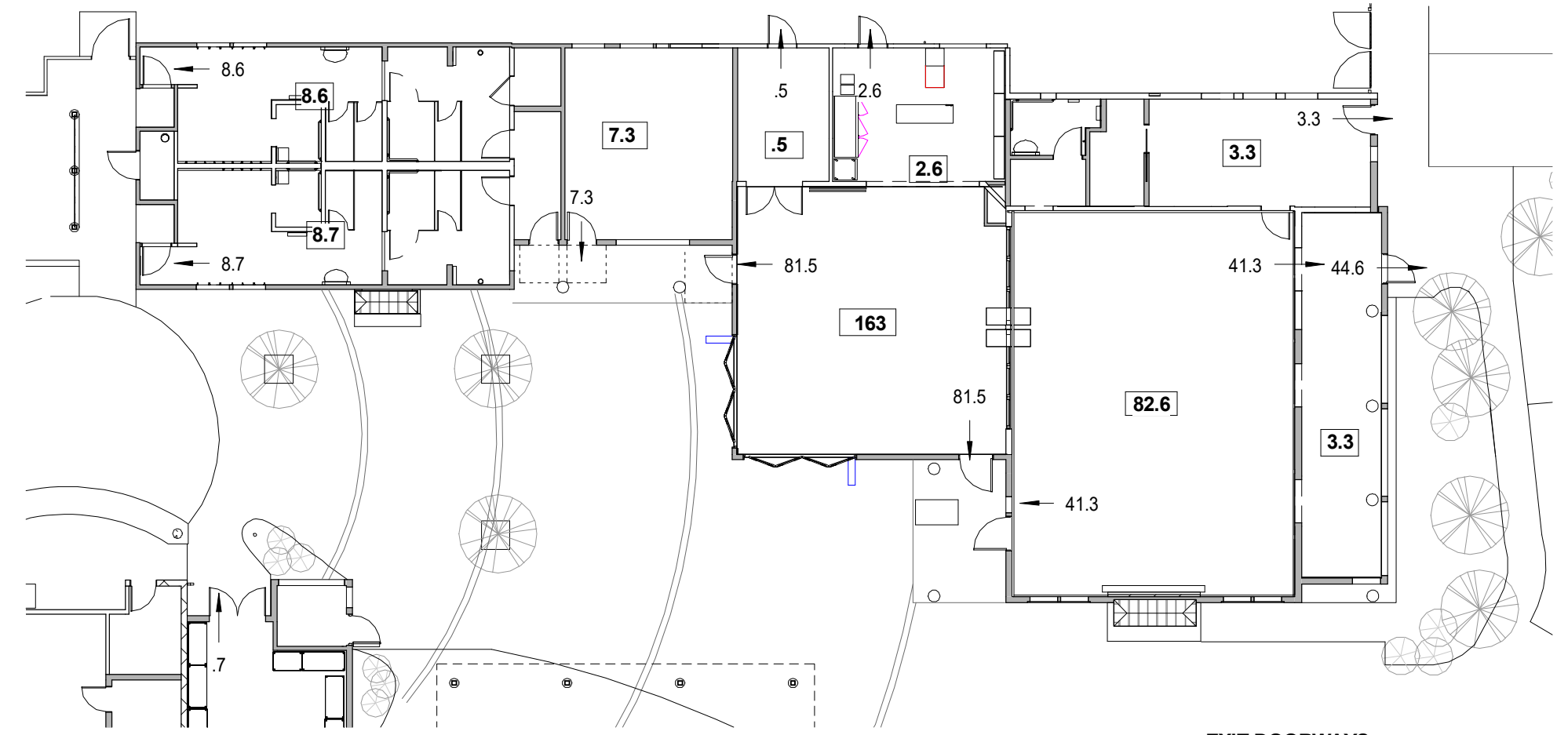
Dave Grubb – Construction Manager

Jessica Fairchild - Architect

Schalich Brothers – General Contractor

FUNDED PROJECT SCHEDULE





EXITING DIAGRAM
SCALE: 1/16" = 1'-0" **B2**

EXIT DOORWAYS
EXIT DOORS TO BE A MINIMUM OF 32" IN WIDTH AND 80" IN HEIGHT SEE 11.3.1 AND DOOR SCHEDULE A7.0 FOR ADDITIONAL INFORMATION

PLUMBING FIXTURE COUNT CALCULATIONS

OCC CALCS FOR A-3 FIXTURE COUNT

ROOM NO.	ROOM NAME	AREA	OCC TYPE
106	LEGENDS PAVILION	811 SF	A-3
107	FOUNDERS ROOM	1,237 SF	A-3**
TOTAL A-3 OCCUPANTS		2,048 SF	

PLUMBING FIXTURE COUNT (LOAD FACTOR 15): 137
68.5 WOMEN = 3 TOILETS, 1 LAVS
68.5 MEN = 1 TOILETS, 1 URINALS, 1 LAVS

OCC CALCS FOR B FIXTURE COUNT

ROOM NO.	ROOM NAME	AREA	OCC TYPE
108	ENCLOSED PORCH	336 SF	B*
110	LEASE OFFICE	335 SF	B
114	WARMING KITCHEN	281 SF	B
116	FLEX USE ROOM	363 SF	B
119	W RESTROOM	432 SF	B
120	M RESTROOM	433 SF	B
124.1	STORAGE / SERVICE	48 SF	B
128	OFFICE	34 SF	B
TOTAL B OCCUPANTS		2,232 SF	

PLUMBING FIXTURE COUNT (LOAD FACTOR 200): 11.17
5.59 WOMEN = 1 TOILETS, 1 LAVS
5.59 MEN = 1 TOILETS, 1 URINALS, 1 LAVS

OCC CALCS FOR S-2 FIXTURE COUNT

ROOM NO.	ROOM NAME	AREA	OCC TYPE
115	STORAGE	138 SF	S-2
123	MECH	26 SF	S-2
124	CERT STORAGE	205 SF	S-2
125	POOL EQUIP	195 SF	S-2
126	STORAGE	65 SF	S-2
127	STORAGE	188 SF	S-2
TOTAL S-2 OCCUPANTS		817 SF	

PLUMBING FIXTURE COUNT (LOAD FACTOR 5000): 0

POOL OCCUPANT LOAD

NAME	AREA	OCCUPANT LOAD FACTOR	OCC LOAD
POOL	3448 SF	15	229.9
WADING POOL	133 SF	15	8.8
TOTAL OCCUPANTS			238.7

PLUMBING FIXTURE COUNT:
1 SHOWER FOR EVERY 50 OCC = 5 REQUIRED
1 TOILET FOR EVERY 60 WOMEN = 2 REQUIRED
1 TOILET AND 1 URINAL FOR EVERY 75 MEN = 2 REQUIRED OF EACH
(TOILETS / LAV NOT REQUIRED IF PROVIDED IN ADJACENT BLDG)

TOTAL REQUIRED FOR SITE
PLUMBING FIXTURE COUNT
WOMEN = 4 TOILETS, 2 LAVS
MEN = 2 TOILETS, 2 URINALS, 2 LAVS
SHOWERS = 5

OCCUPANCY CALCULATIONS

ROOM NO.	ROOM NAME	AREA	OCC TYPE	OCC LOAD FACTOR	OCC LOAD
		776 SF			
106	LEGENDS PAVILION	811 SF	A-3	5	162.2
107	FOUNDERS ROOM	1,237 SF	A-3**	15	82.5
108	ENCLOSED PORCH	326 SF	B*	100	3.3
110	LEASE OFFICE	335 SF	B	100	3.3
111	TOILET	52 SF			
112	VEST	40 SF			
114	WARMING KITCHEN	281 SF	B	100	2.6
115	STORAGE	138 SF	S-2	300	0.5
116	FLEX USE ROOM	363 SF	B	50	7.3
118	HALL	68 SF			
119	W RESTROOM	432 SF	B	50	8.6
120	M RESTROOM	433 SF	B	50	8.7
121	JANITOR	31 SF			
123	MECH	26 SF	S-2	300	0.1
124	CERT STORAGE	205 SF	S-2	300	0.7
124.1	STORAGE / SERVICE	48 SF	B	100	0.5
125	POOL EQUIP	195 SF	S-2	300	0.6
126	STORAGE	65 SF	S-2	300	0.2
127	STORAGE	188 SF	S-2	300	0.6
128	OFFICE	34 SF	B	100	0.3
TOTAL OCCUPANTS					282

* OCCUPANCY IS "B" PER CBC SECTION 303.1.2
** FOUNDERS ROOM WILL BE FURNISHED, TABLES AND CHAIRS

FLOOR AREA CALCULATIONS

EXISTING

(E) FLOOR AREA TO REMAIN

Name	Area
(E) POOL BLDG	603 SF
(E) CLUBHOUSE	4732 SF
Grand total	5335 SF

PROPOSED

(E) FLOOR AREA TO REMAIN

Name	Area
(E) POOL BLDG	603 SF
(E) CLUBHOUSE	4732 SF
Grand total	5335 SF

FLOOR ARE TO BE DEMOLISHED

Name	Area
DEMO FLOOR AREA	84 SF
Grand total	84 SF

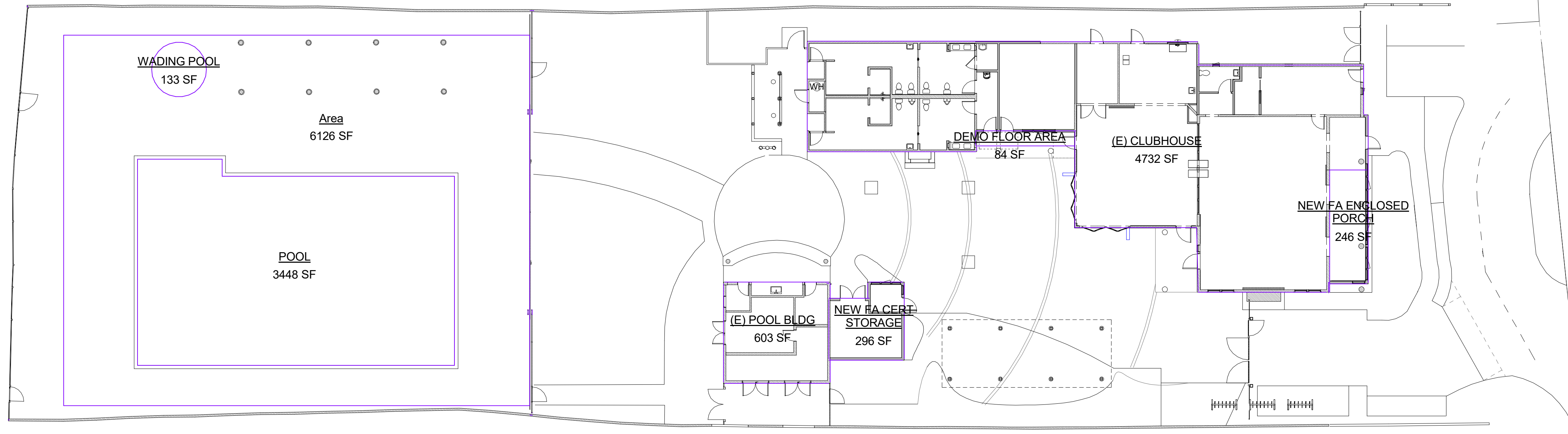
NEW FLOOR AREAS

Name	Area
NEW FA CERT STORAGE	296 SF
NEW FA ENCLOSED PORCH	246 SF
Grand total	542 SF

TOTAL FLOOR AREA 5,425 SF

POOL AREA

Name	Area
POOL	3448 SF
WADING POOL	133 SF
Grand total	3581 SF



OVERALL PROJECT AREAS
SCALE: 1/16" = 1'-0" **A1**

**Sleepy Hollow
Community Center**
1317 Butterfield Rd
San Anselmo, CA 94960
APN-176-162-07

**Fairchild
Broms
Design**

PO BOX 1528
SAN ANSELMO, CA 94960
415.459.8699

REVISION - CERT STORAGE



ISSUE / REVISION

Date	Description	No.
12.16.19	ISSUE FOR PERMIT	
03.25.20	SCOPE REVISIONS	
05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
08.03.20	ISSUE FOR CONSTRUCTION	3
09.15.20	COORDINATION / REVISION	4

PROJECT NO. **19004**
DATE **12.16.2019**
SCALE **1/16" = 1'-0"**
SHEET TITLE

PROJECT INFORMATION
SHEET NO. **T1.0**

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Summary of Project Code Conditions Based on 2016 CBC

I. General	
1. Project Location:	Sleepy Hollow Clubhouse and Pool 1317 Butterfield Ave San Anselmo, CA 94960
2. Building Program:	Room(s) Community Rooms Offices/Play Room Locker Rms. Storage Occupancy A-3 B S-2
3. Design Assumptions	Existing one story wood framed building with CMU pool building Renovations to be wood framed and CMU
4. Planning Issues	Previous Design Review: Previous Use Permit:
5. Applicable Building Codes:	2016 California Codes 2016 California Building Code 2016 California Electrical Code 2016 California Mechanical Code 2016 California Plumbing Code 2016 Green Building Standards Code 2016 California Energy Code

II. Requirements Based on Use or Occupancy

Issue	Item	Code Reference
1. Select Occupancy Groups:	Room(s) Community Rooms Office / Meeting Rooms Locker Rooms Storage Occupancy A-3 B S S	Sec. 303 & 304
2. Occupancy Separations	N/A	Table 508.4
3. Requirements based on Occupancy Group	N/A	Chapter 4

III. Requirements Based on Use or Occupancy

Issue	Item	Code Reference

Summary of Project Code Conditions Based on 2016 CBC

1. Select Occupancy Groups:	Room(s) Children's Play Structures Occupancy Sec. 303 & 304
2. Occupancy Separations	N/A Table 508.4
3. Requirements based on Occupancy Group	424.1, 5feet from means of egress, buildings walls Chapter 4

Summary of Project Code Conditions Based on 2016 CBC

IV. General Building Limitations			
Issue	Item	Code Reference	
1. Allowable Building Height and Floor Area	Definition of Building Area: area included within surrounding exterior walls exclusive of vent shafts and courts. Areas of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above.	Sec. 2	
Actual Floor Area:	Clubhouse and Pool house 6,443 SF	Assume both buildings are one per section 705.3	Section 506
Allowable Floor Area:	24,000 SF = A ₁ Mixed Occupancy A-3 (Type VB) Sprinklered - S1	A ₁ = A ₁ + (NS x L) I = (FP - 25) W/30 If = (59365 - 25) 50/30 = 16% A ₁ = 24,960 SF	Section 508.1 Equation 5-1 Section 504
Allowable Height:	(Type VB) Sprinklered	60 / 2 Stories	Table 504.3 & 504.4
Actual Height:	1 Story	22	

Summary of Project Code Conditions Based on 2016 CBC

V. Types of Construction			
Issue	Item	Code Reference	
1. Select Construction Type	Type VB	Chapter 6	
2. Exterior Wall	Separation Distance Wall Construction	Rating 0	Opening Protection Unprotected, Sprinklered, No Limit in Area Table 602 Sec. 705.8
3. Fire Resistive Requirements by Construction Type	Element	Hours	Table 705.2 Table 601
	Structural frame	0	
	Bearing walls - exterior	0	
	Bearing walls - interior	0	
	Nonbearing walls and partitions - exterior	0	
	Nonbearing walls and partitions - interior	0	
	Floors	0	
	Roofs	0	

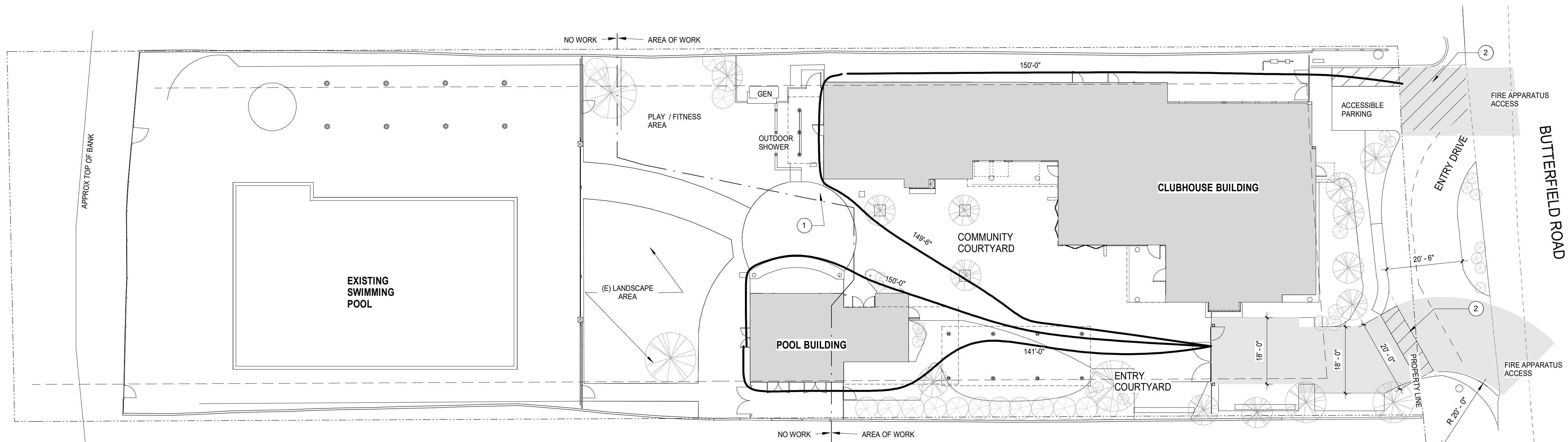
Summary of Project Code Conditions Based on 2016 CBC

VI. Fire Resistant Materials and Construction		
Issue	Item	Code Reference
1. Fire Walls	2	Sec. 706
2. Fire Barriers	2	Sec. 707
3. Shaft Enclosures	1	Sec. 713
4. Fire Partitions	Fire resistance rating no less than 1 hour	Sec. 709
5. Smoke Barriers & Smoke Partitions	1	Sec. 709
6. Penetrations		Sec. 714
7. Opening Protectives	Fire barriers, shaft enclosures: 1 hr rating / 1/3 hr opp rating Fire partitions (corridor and other): 1 hr rating / 1/3 hr opp rating	Table 716.5
8. Interior Finishes	Interior exit stairways, corridors: C Rooms: Class C Note b: Class C interior finish for sprinklered buildings permitted in interior exit stairways Class II	Table 803.11 Sprinklered

VII. FIRE PROTECTION		
Issue	Item	Code Reference
1. Sprinklers	Required. Newly constructed buildings; buildings with more than 50% floor area with any "substantial remodel"	Sec. 903.2.1 Sec. 903.2.1.2 Sec. 903.2.1.3
2. Standpipe(s)	N/A	Sec. 905
3. Fire Extinguishers	Class A, Ordinary Hazard, maximum floor area = 11,250 SF; maximum travel distance 75'	NFPA 10

Summary of Project Code Conditions Based on 2016 CBC

VIII. EXITING			
Issue	Item	Code Reference	
1. Occupant Load	Excludes: corridors, toilet rooms, utility rooms, and shafts.	Table 1004.1.2	
SEE SEPARATE TABLES FOR OCCUPANT LOADS			
2. Minimum Widths	Egress Components Stairs = 0.3 inches per occupant Doors / Corridors = 0.2 inches per occupant Minimum: Stairs - 44" Doors - 32" Corridors - 44" Stair 0.3 x 21 Occ = 6.3' - Min 44" Corridor: 0.2 x 56 Occ = 11.2' - Min 44" Doors: 0.2 x 56 Occ = 11.2' - Min 32"	Sec. 1005 Sec. 1008 Sec. 1018	
3. Exit and Exit Access Doorways	Number of exits required for individual spaces Max occupant load, spaces with one exit (otherwise min 2 exits required): 49	Sec. 1015 [Table 1015.1]	
4. Exit Access and Travel Distance	B = 300' A-3 = 250'	Sec. 1015.1.4 Sec. 1016 Table 1016.2	
5. Corridors	Construction fire resistance rating: B (sprinklered): 0 Dead end corridors - max 20'-0"	Sec. 1018	



- KEY NOTES
- (E) BRICK PAVING TO REMAIN, PROTECT IN PLACE
 - RED ZONE, RED STRIPING, MARK WITH "NO PARKING"

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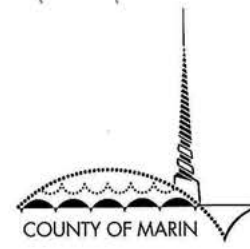
REVISION - CERT STORAGE
ARCHITECT / ENGINEER STAMP



DATE	DESCRIPTION	NO.
12.16.19	ISSUE FOR PERMIT	
08.03.20	ISSUE FOR CONSTRUCTION	3

PROJECT NO. 19004
DATE 12.16.2019
SCALE 1/16" = 1'-0"
SHEET TITLE

PROJECT INFORMATION
SHEET NO. T1.1



MARIN COUNTY UNIFORMLY APPLIED CONDITIONS
FOR PROJECTS SUBJECT TO DISCRETIONARY PLANNING PERMITS
2019

STANDARD CONDITIONS

- BEFORE ISSUANCE OF A BUILDING PERMIT, the applicant shall revise the site plan or other first sheet of the Building Permit plan sets to list as notes all standard and project specific conditions of approval, including the applicable special conditions listed herein and those conditions listed in the project approval, as well as any requirements indicated by other regulating agencies during the planning process.
- The applicant/owner shall pay any deferred Planning Division fees as well as any fees required for mitigation monitoring or condition compliance review before vesting or final inspection of the approved project, as determined by the Director.
- The applicant/owner shall defend, indemnify, and hold harmless the County of Marin and its agents, officers, attorneys, or employees from any claim, action, or proceeding, against the County or its agents, officers, attorneys, or employees, to attack, set aside, void, or annul an approval of this application, for which action is brought within the applicable statute of limitations. The County of Marin shall promptly notify the applicant/owner of any claim, action, or proceeding that is served upon the County of Marin, and shall cooperate fully in the defense.
- Exterior lighting for the approved development shall be located and shielded to avoid casting glare into the night sky or onto nearby properties, unless such lighting is necessary for safety purposes.
- Building Permit applications shall substantially conform to the project that was approved by the planning permit. All Building Permit submittals shall be accompanied by an itemized list of any changes from the project approved by the planning permit. The list shall detail the changes and indicate where the changes are shown in the plan set. Construction involving modifications that do not substantially conform to the approved project, as determined by the Community Development Agency staff, may be required to be halted until proper authorization for the modifications is obtained by the applicant.

SPECIAL CONDITIONS

- BEFORE ISSUANCE OF A BUILDING PERMIT, the applicant shall submit a signed Statement of Conformance prepared by a certified or licensed landscape design professional indicating that the landscape plan complies with the State of California's Model Water Efficient Landscape Ordinance and that a copy of the Landscape Documentation Package has been filed with the Community Development Agency.

- BEFORE ISSUANCE OF A BUILDING PERMIT, the applicant shall mark or call out the approved building setbacks on the Building Permit plans indicating the minimum distance of the building from the nearest property line or access easement at the closest point and any of the following features applicable to the project site: required tree protection zones, Wetland Conservation Areas, or Stream Conservation Areas.
- BEFORE ISSUANCE OF A BUILDING PERMIT, the applicant shall revise the plans to depict the location and type of all exterior lighting for review and approval of the Community Development Agency staff. Exterior lighting visible from off-site shall consist of low-wattage fixtures, and shall be directed downward and shielded to prevent adverse lighting impacts to the night sky or on nearby properties. Exceptions to this standard may be allowed by the Community Development Agency staff if the exterior lighting would not create night-time illumination levels that are incompatible with the surrounding community character and would not shine on nearby properties.
- BEFORE ISSUANCE OF A BUILDING PERMIT, the applicant shall record a Waiver of Public Liability holding the County of Marin, other governmental agencies, and the public harmless related to losses experienced due to geologic and hydrologic conditions and other natural hazards.
- BEFORE ISSUANCE OF A BUILDING PERMIT, the applicant shall submit written confirmation that the property owner has recorded the "Disclosure Statement Concerning Agricultural Activities," as required by Section 23.03.050 of the Marin County Code.
- BEFORE ISSUANCE OF A BUILDING PERMIT for any of the work identified in the project approval, the applicant shall install 3-foot high temporary construction fencing demarcating established tree protection zones for all protected trees that are not being removed in the vicinity of any area of grading, construction, materials storage, soil stockpiling, or other construction activity. The applicant shall submit a copy of the temporary fencing plan and site photographs confirming installation of the fencing to the Community Development Agency. Acceptable limits of the tree protection zones shall be the dripline of the branches or a radius surrounding the tree of one foot for each one inch diameter at breast height (4.5 feet above grade) of the tree trunk. The fencing is intended to protect existing vegetation during construction and shall remain until all construction activity is complete. If encroachment into the tree protection zone is necessary for development purposes, additional tree protection measures shall be identified by a licensed arborist, forester, or botanist, and the tree specialist shall periodically monitor the construction activities to evaluate whether the measures are being properly followed. A report with the additional measures shall be submitted for review and approval by the Planning Division before any encroachment into a tree protection zone occurs.
- BEFORE FINAL INSPECTION, if encroachments into a tree protection zone have been approved, then the tree specialist shall submit a letter to the Planning Division verifying that the additional tree protection measures were properly implemented during construction activities.
- BEFORE ISSUANCE OF A BUILDING PERMIT, temporary construction fencing shall be installed on the subject property at edge of the Wetland Conservation Area and/or Stream Conservation Area, as applicable to the site. The applicant shall submit a copy of the temporary fencing plan and site photographs confirming installation of the fencing to the Community Development Agency. The construction fencing shall remain until all construction

- activity is complete. No parking of vehicles, grading, materials/equipment storage, soil stockpiling, or other construction activity is allowed within the protected area. If encroachment into the protected area is necessary for development purposes, additional protection measures shall be identified by a qualified biologist and the biologist shall periodically monitor the construction activities to evaluate whether the measures are being properly followed. A report with the additional measures shall be submitted for review and approval by the Planning Division before any encroachment into a protected area occurs.
- BEFORE FINAL INSPECTION, if encroachments into a protected area have been approved, then the biologist shall submit a letter to the Planning Division verifying that the additional protection measures were properly implemented during construction activities.
- BEFORE ISSUANCE OF A BUILDING PERMIT, the applicant must provide written evidence that all appropriate permits and authorizations have been secured for this project from the Bay Conservation and Development Commission, the California Department of Fish and Game, the Regional Water Quality Control Board, the California Coastal Commission, the California State Lands Commission, the Bay Area Air Quality Management District, and/or the United States Army Corps of Engineers.
- BEFORE CLOSE-IN INSPECTION, the applicant shall have a licensed land surveyor or civil engineer with proper surveying certification prepare and submit written (stamped) Floor Elevation Certification to the Planning Division confirming that the building's finished floor elevation conforms to the floor elevation that is shown on the approved Building Permit plans, based on a benchmark that is noted on the plans.
- BEFORE FINAL INSPECTION, the project shall substantially conform to the requirements for exterior materials and colors, as approved herein. Approved materials and colors shall substantially conform to the materials and colors samples shown in "Exhibit A" unless modified by the conditions of approval. The exterior materials or colors shall conform to any modifications required by the conditions of approval. All flashing, metalwork, and trim shall be treated or painted an appropriately subdued, non-reflective color.
- BEFORE FINAL INSPECTION, the applicant shall install all approved landscaping that is required for the following purposes: (1) screening the project from the surrounding area; (2) replacing trees or other vegetation removed for the project; (3) implementing best management practices for drainage control; and, (4) enhancing the natural landscape or mitigating environmental impacts. If irrigation is necessary for landscaping, then an automatic drip irrigation system shall be installed. The species and size of those trees and plants installed for the project shall be clearly labeled in the field for inspection.
- BEFORE FINAL INSPECTION, the applicant shall submit a Certificate of Completion prepared by a certified or licensed landscape design professional confirming that the installed landscaping complies with the State of California's Model Water Efficient Landscape Ordinance and the Landscape Documentation Package on file with the Community Development Agency.
- BEFORE FINAL INSPECTION, the applicant shall submit written verification from a landscape design professional that all the approved and required landscaping has been completed and that any necessary irrigation has been installed.

- BEFORE FINAL INSPECTION, utilities to serve the approved development shall be placed underground except where the Director determines that the cost of undergrounding would be so prohibitive as to deny utility service to the development.
- BEFORE FINAL INSPECTION, the applicant shall call for a Community Development Agency staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent reinspections.

CODE ENFORCEMENT CONDITIONS

- Within 30 days of this decision, the applicant must submit a Building Permit application to legalize the development. Requests for an extension to this timeline must be submitted in writing to the Community Development Agency staff and may be granted for good cause, such as delays beyond the applicant's control.
- Within 60 days of this decision, a Building Permit for all approved work must be obtained. Requests for an extension to this timeline must be submitted in writing to the Community Development Agency staff and may be granted for good cause, such as delays beyond the applicant's control.
- Within 120 days of this decision, the applicant must complete the approved construction and receive approval of a final inspection by the Building and Safety Division. Requests for an extension to this timeline must be submitted in writing to the Community Development Agency staff and may be granted for good cause, such as delays beyond the applicant's control.

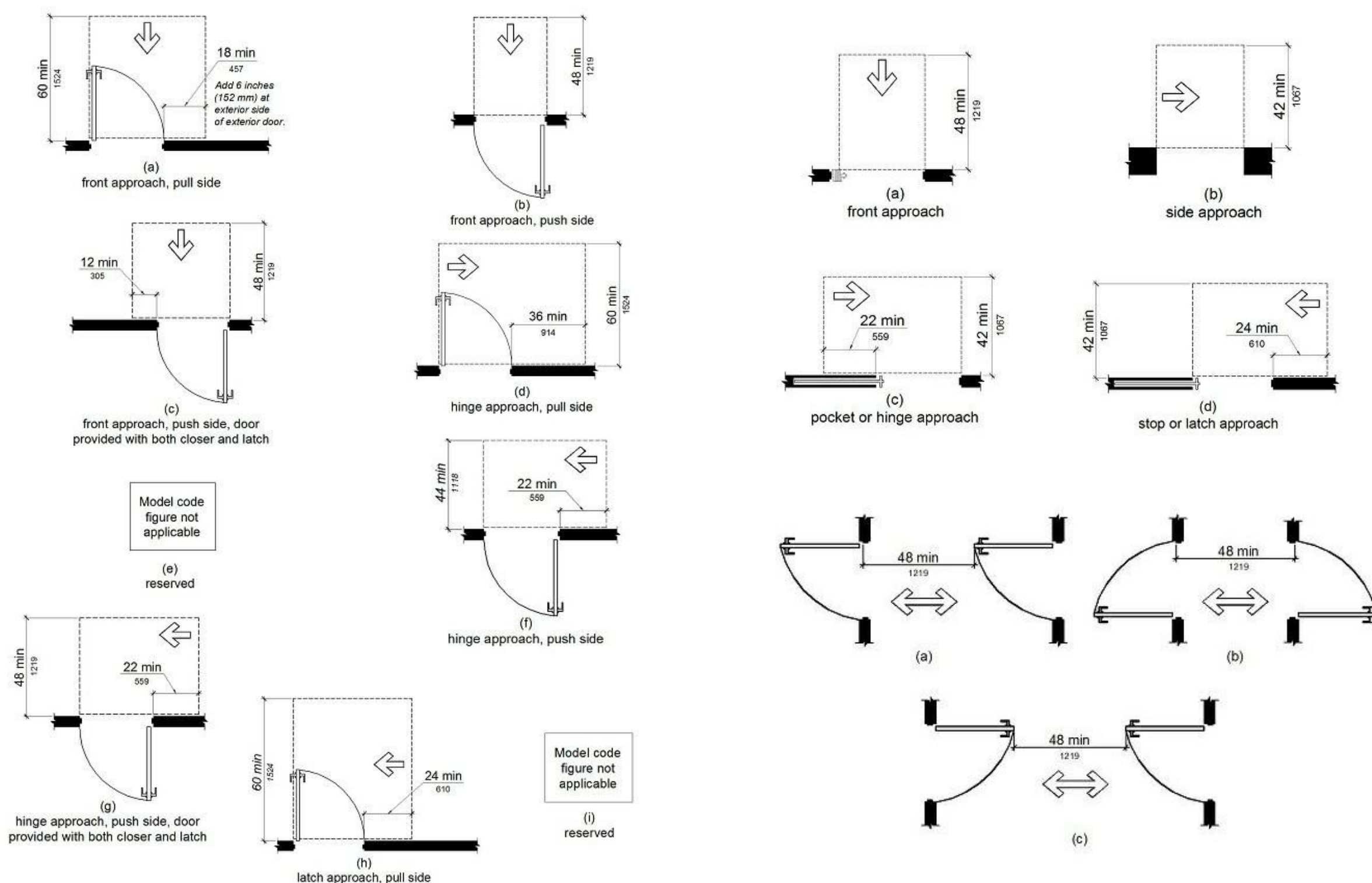
- REVISIONS NOTED PER CONDITION #5:
- REVISED BUILDING FOOTPRINT AND VOLUME TO ELIMINATE PROPOSED ADDITION ON THE NORTH SIDE OF BUILDING. SEE SHEET A1.0.1
 - REDUCED BUILDING FOOTPRINT AT ENTRY OFFICE AREA AND LIBRARY, SOUTH SIDE. SEE SHEET A1.0.1

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PLANNING CONDITIONS B1
SCALE: 12" = 1'-0"



DOOR CLEARANCES A1
SCALE: NOT TO SCALE

REVISION - CERT STORAGE
ARCHITECT / ENGINEER STAMP



DATE	DESCRIPTION	NO.
05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
08.03.20	ISSUE FOR CONSTRUCTION	3

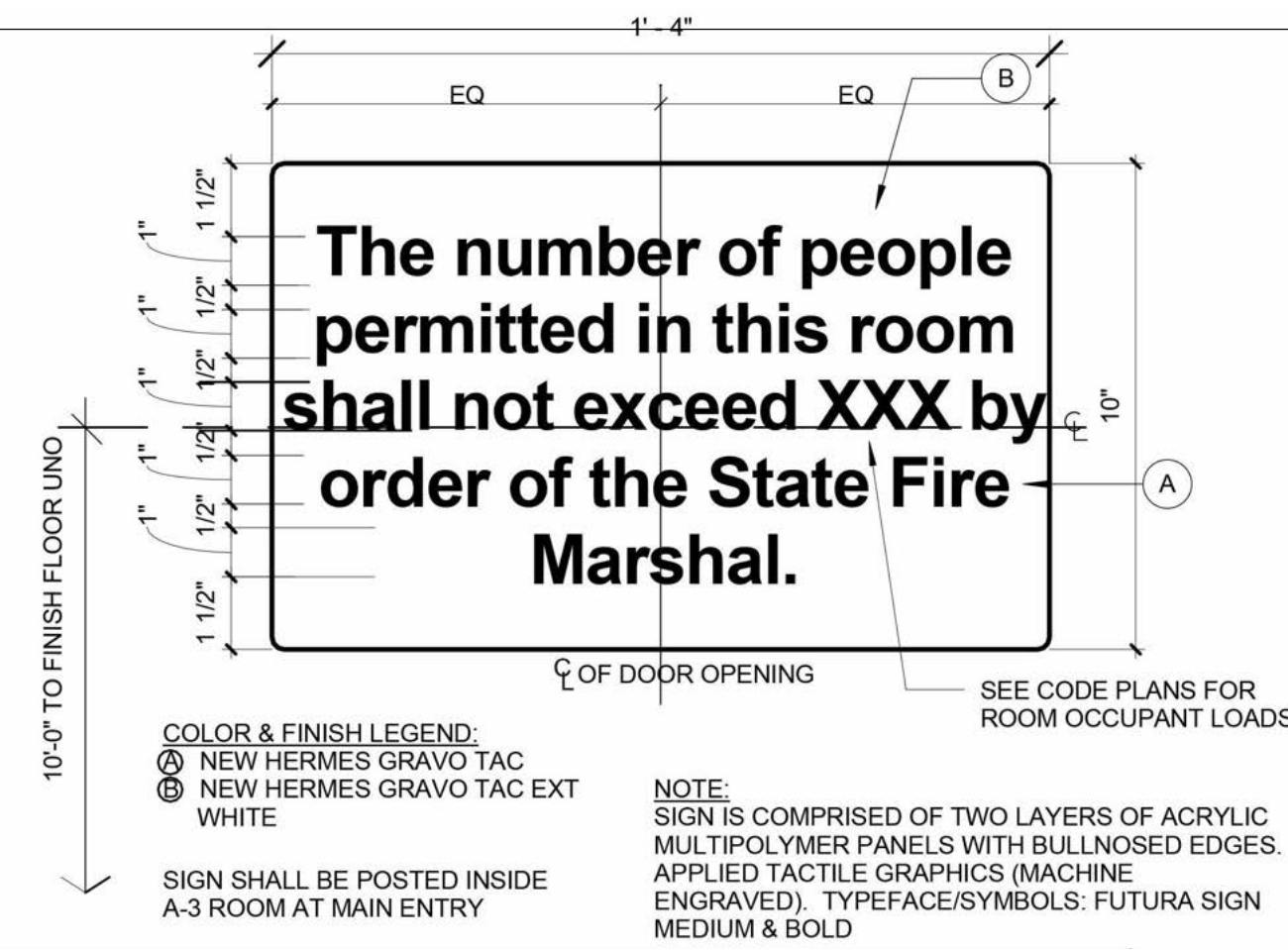
PROJECT NO. 19004

DATE 05.20.2020

SCALE As indicated

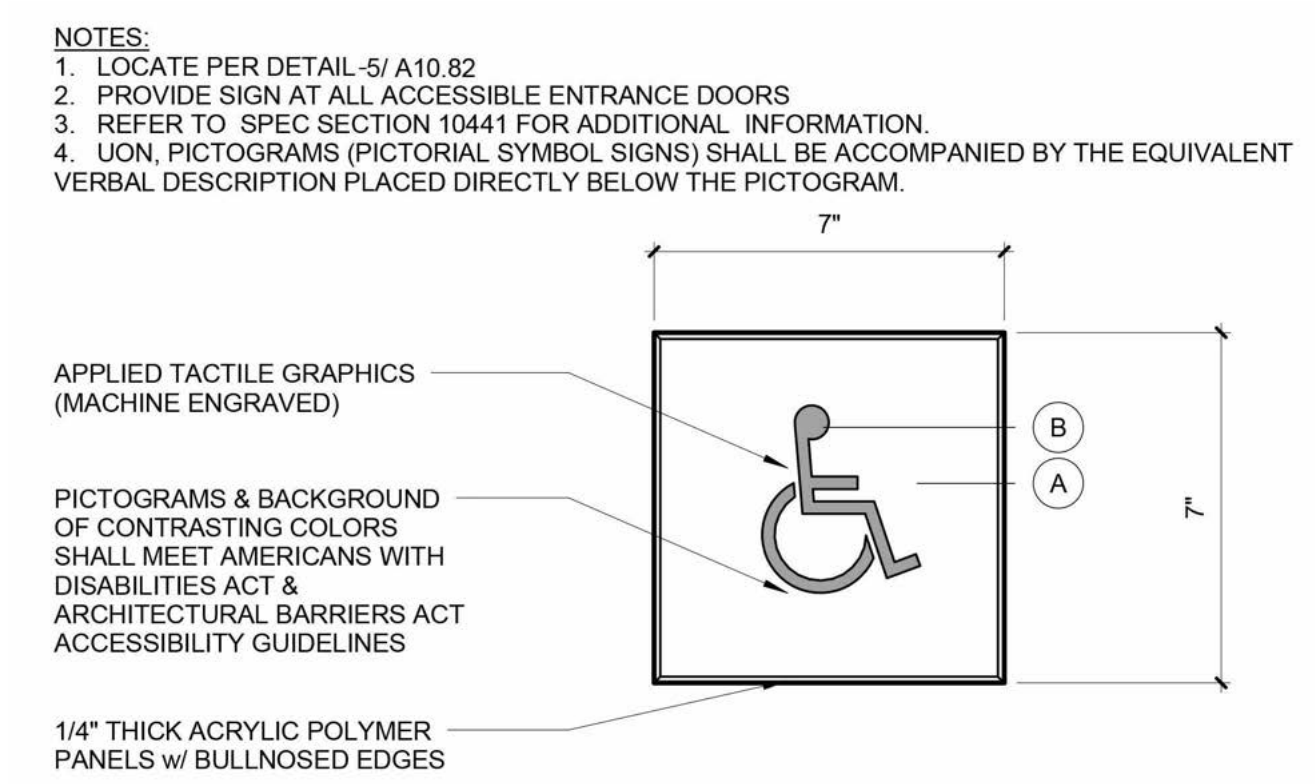
SHEET TITLE ACCESSIBILITY / PLANNING CONDITIONS

SHEET NO. T1.1.1



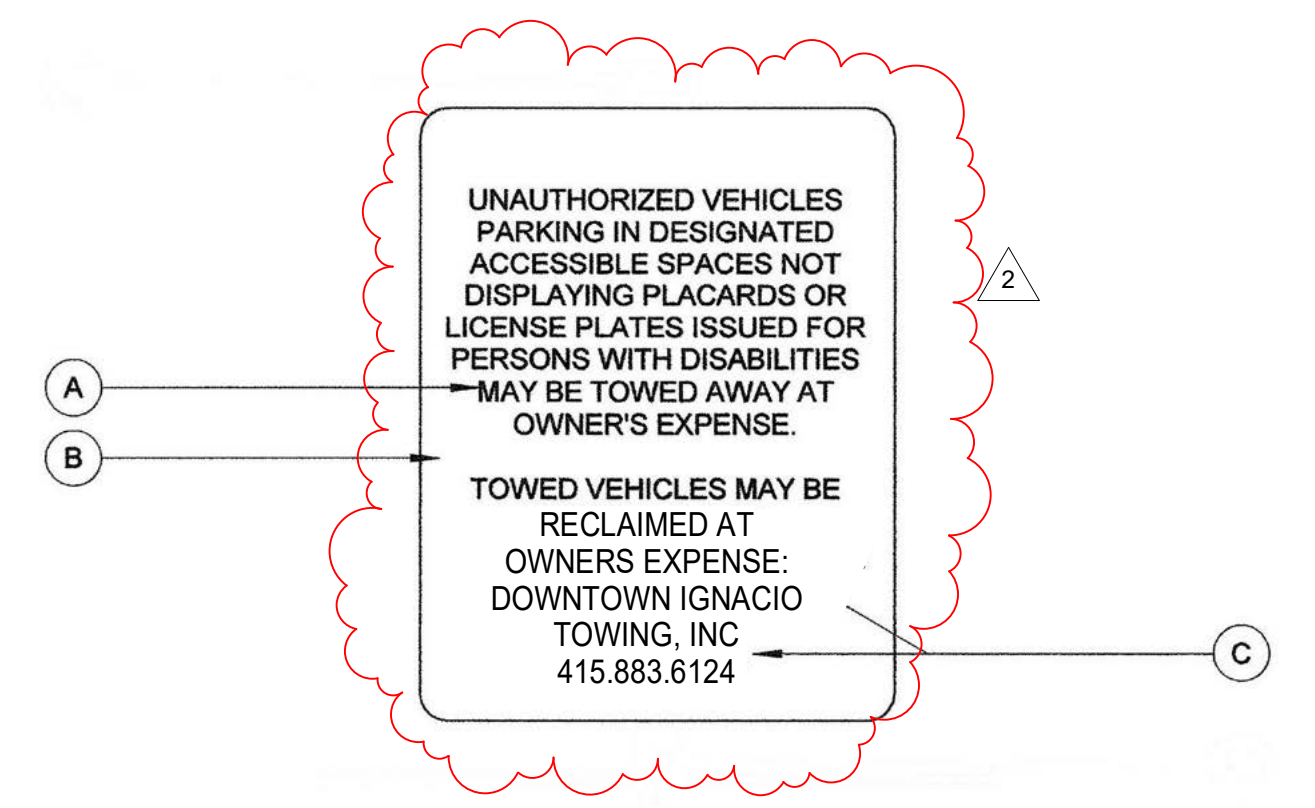
NOTE: PROVIDE SITE SIGNAGE - INDICATING NO SMOKING ON THE PROPERTY COORDINATE WITH OWNER ON ANY ADDITIONAL SIGNAGE REQUIREMENTS

OCCUPANT LOAD SIGNAGE AND ADDITIONAL SIGNAGE
SCALE: 12" = 1'-0" **C4**



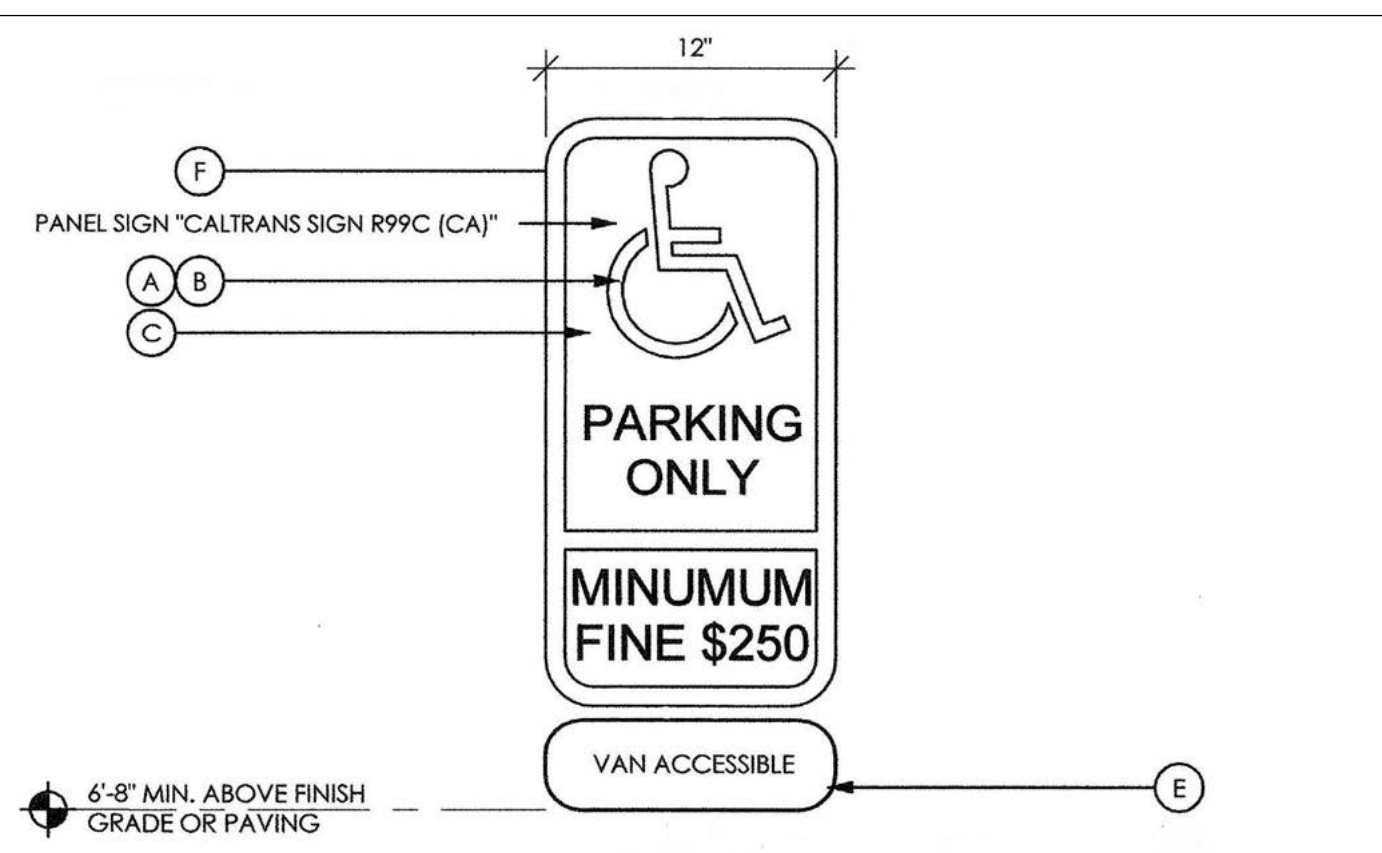
NOTE: 1. LOCATE PER DETAIL -5/ A10.82
2. PROVIDE SIGN AT ALL ACCESSIBLE ENTRANCE DOORS
3. REFER TO SPEC SECTION 10441 FOR ADDITIONAL INFORMATION
4. UN: PICTOGRAMS (PICTORIAL SYMBOL SIGNS) SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM.

ACCESSIBLE ENTRANCE SIGNAGE
SCALE: 12" = 1'-0" **C3**



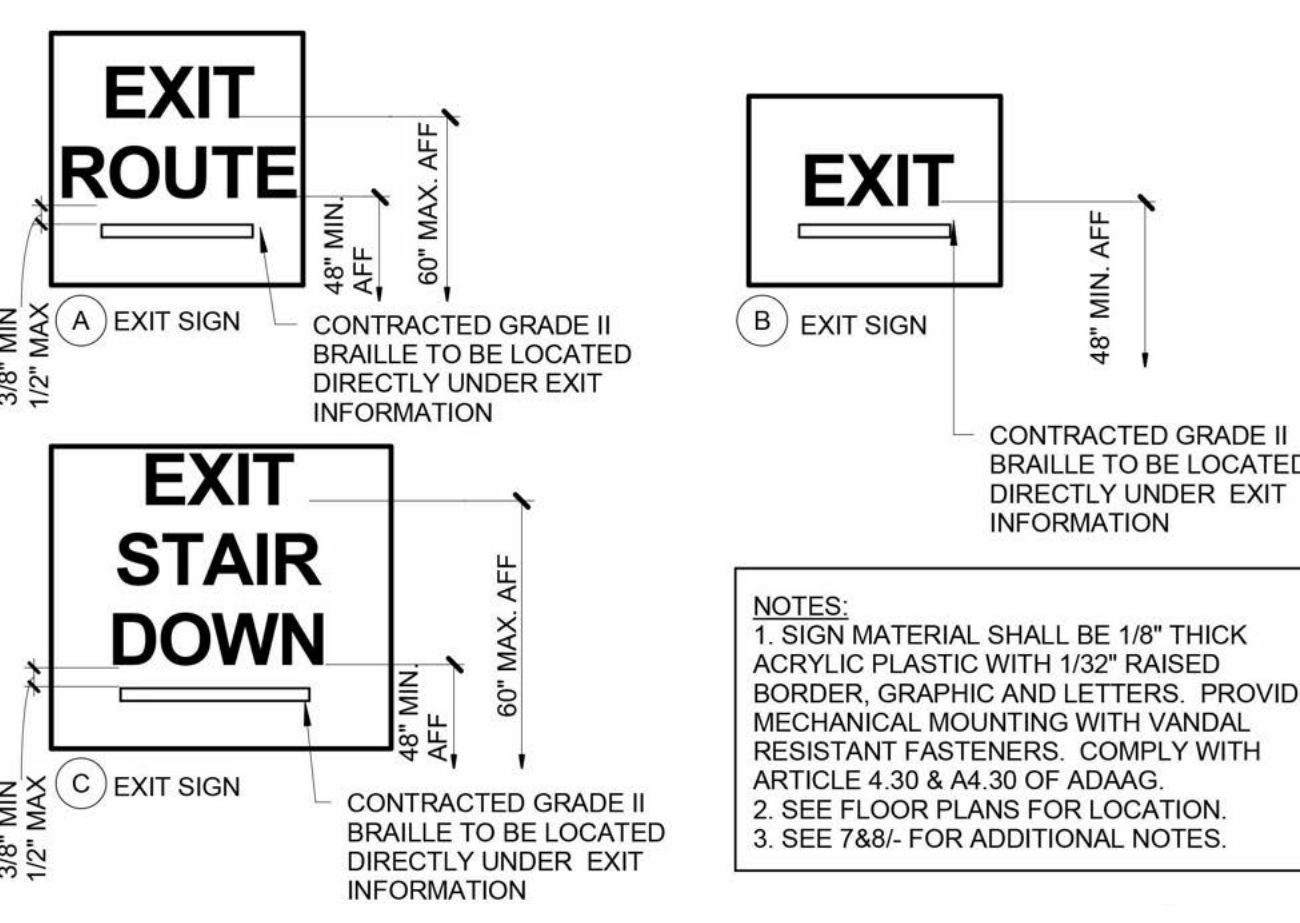
NOTE: 1. LOCATE PER DETAIL -5/ A10.82
2. PROVIDE SIGN AT ALL ACCESSIBLE ENTRANCE DOORS
3. REFER TO SPEC SECTION 10441 FOR ADDITIONAL INFORMATION
4. UN: PICTOGRAMS (PICTORIAL SYMBOL SIGNS) SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM.

UNAUTHORIZED VEHICLE SIGNAGE
SCALE: 12" = 1'-0" **C2**

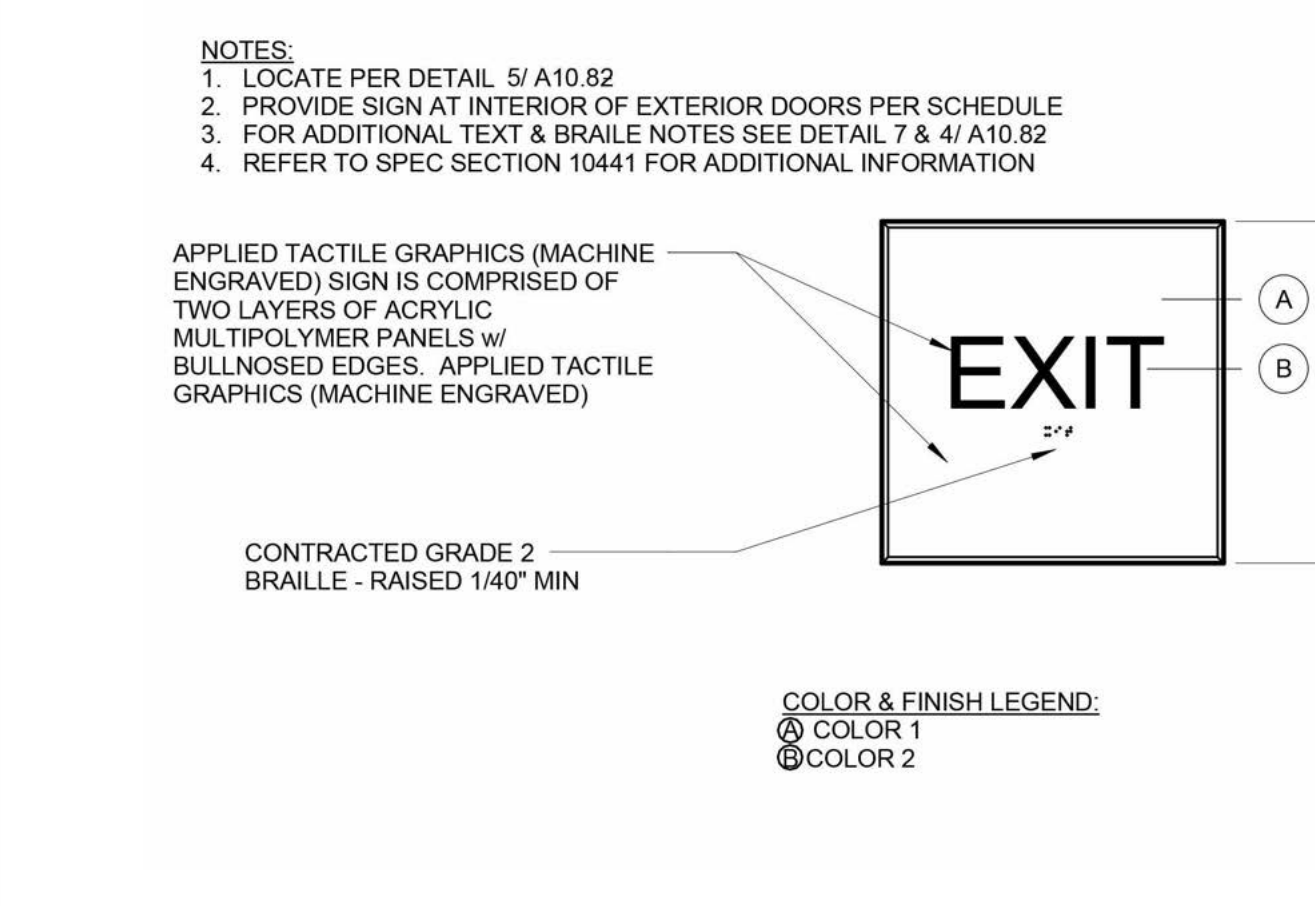


NOTE: 1. LOCATE PER DETAIL -5/ A10.82
2. PROVIDE SIGN AT ALL ACCESSIBLE ENTRANCE DOORS
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4. UN: PICTOGRAMS (PICTORIAL SYMBOL SIGNS) SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM.

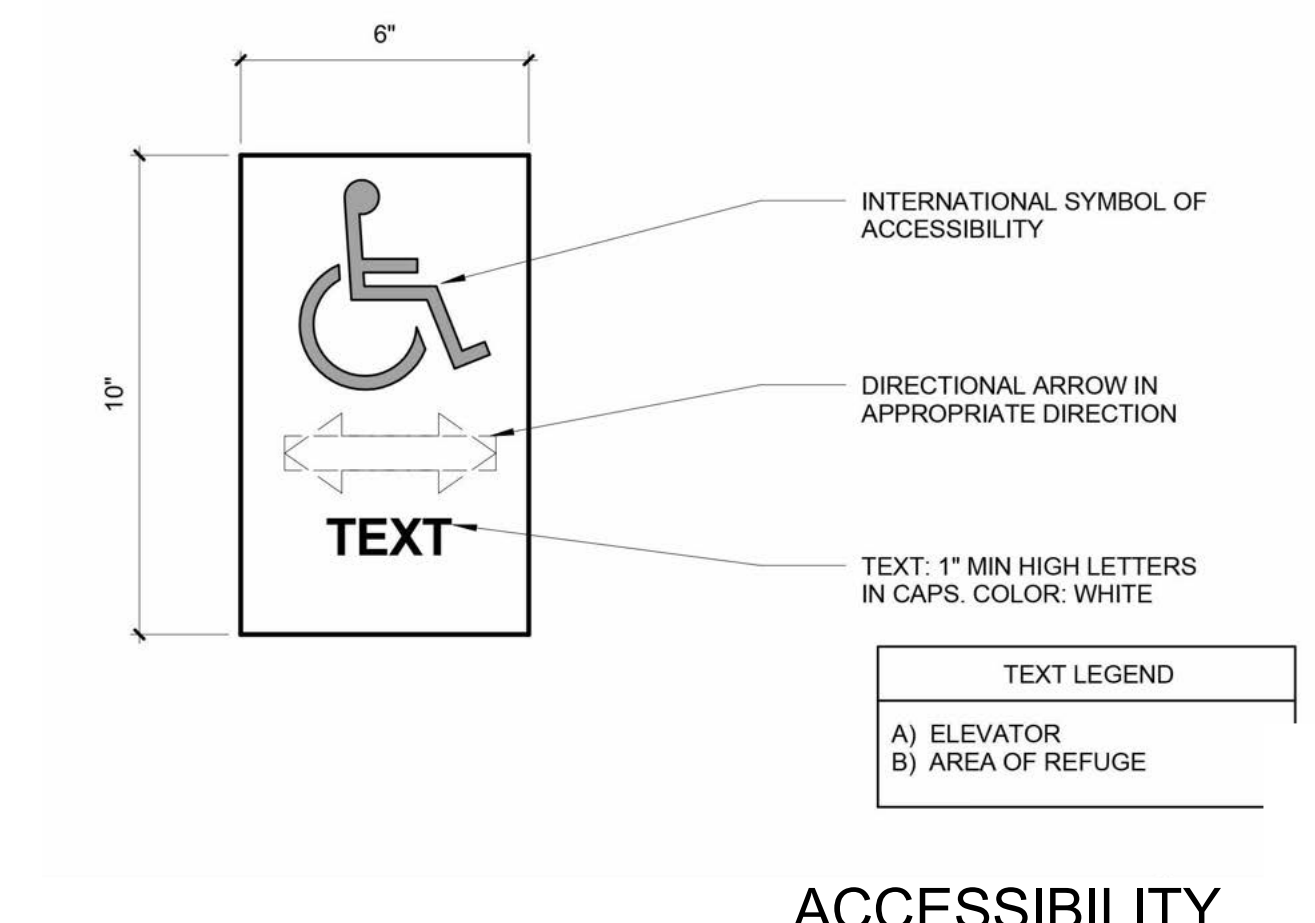
ACCESSIBLE PARKING VAN SIGN
SCALE: 12" = 1'-0" **C1**



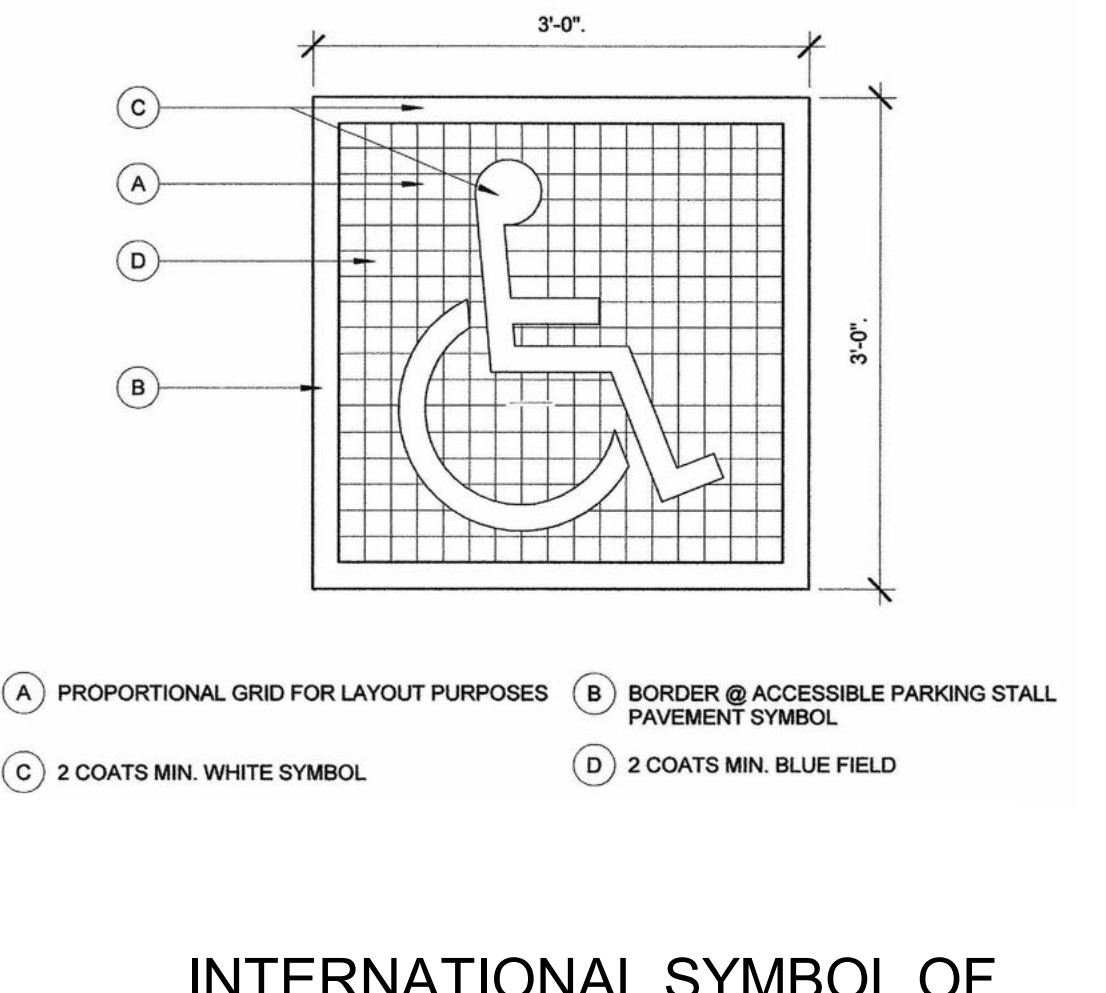
TACTILE EXIT SIGNAGE
SCALE: 12" = 1'-0" **B4**



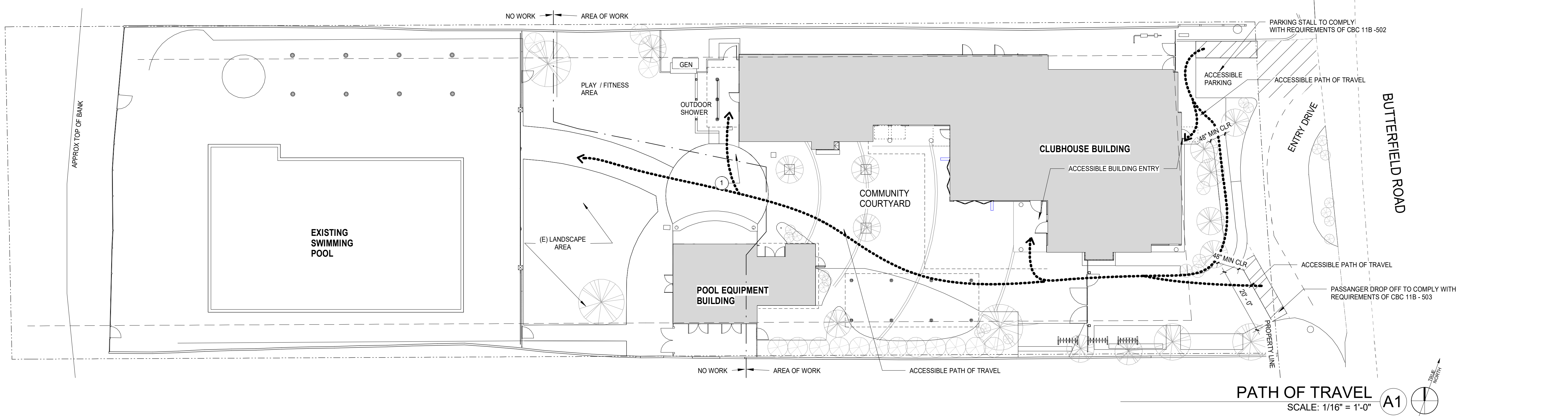
EXIT SIGNAGE
SCALE: 12" = 1'-0" **B3**



ACCESSIBILITY INFORMATIONAL SIGN
SCALE: 12" = 1'-0" **B2**



INTERNATIONAL SYMBOL OF ACCESSIBILITY
SCALE: 12" = 1'-0" **B1**



PATH OF TRAVEL
SCALE: 1/16" = 1'-0" **A1**

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ARCHITECT / ENGINEER STAMP



DATE	DESCRIPTION	NO.
12.16.19	ISSUE FOR PERMIT	1
07.06.20	PLAN CHECK CORRECTIONS 2	2
08.03.20	ISSUE FOR CONSTRUCTION	3

PROJECT NO. 19004

DATE 12.16.2019

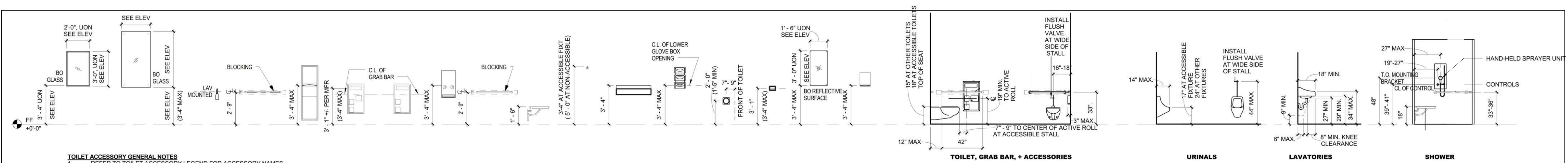
SCALE As indicated

SHEET TITLE ACCESSIBILITY / SIGNAGE

SHEET NO. T1.2

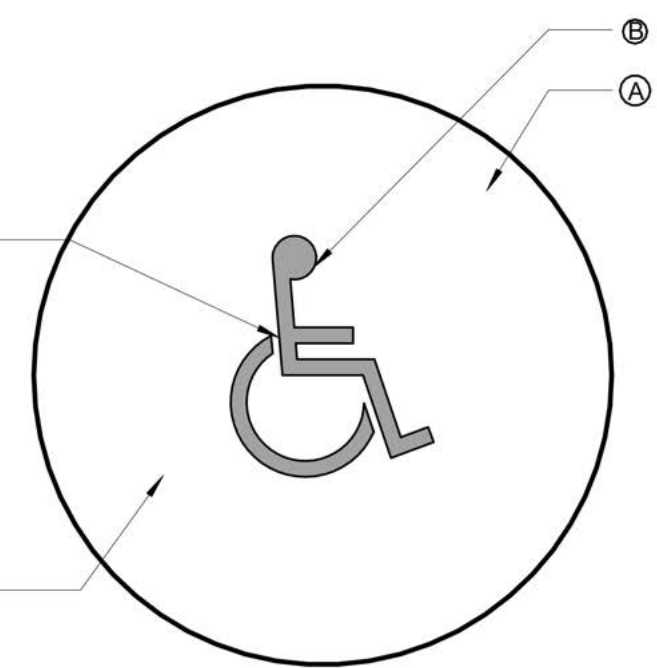
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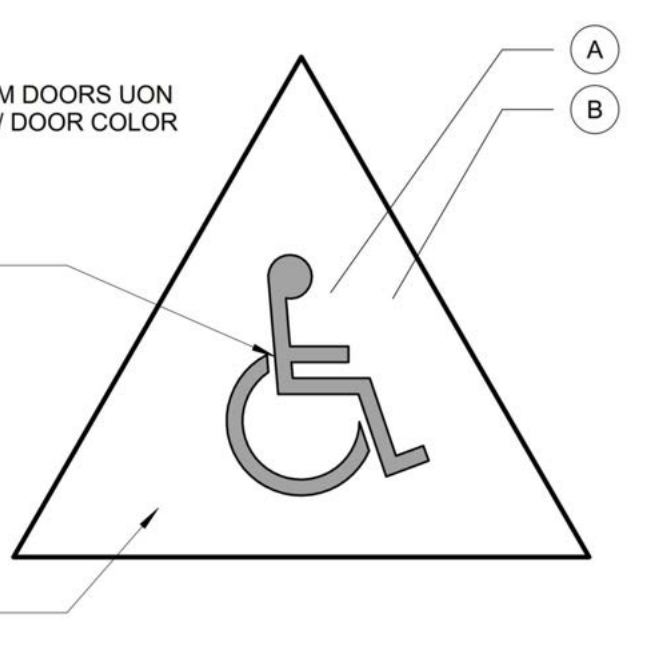
TOILET ACCESSORY GENERAL NOTES
1. REFER TO TOILET ACCESSORY LEGEND FOR ACCESSORY NAMES

- NOTES:**
1. LOCATE PER DETAIL 5/A10.82
2. PROVIDE SIGN ON ALL WOMEN'S/GIRLS RESTROOM DOORS UON
3. SIGN COLOR SHALL DISTINCTLY CONTRAST WITH DOOR COLOR



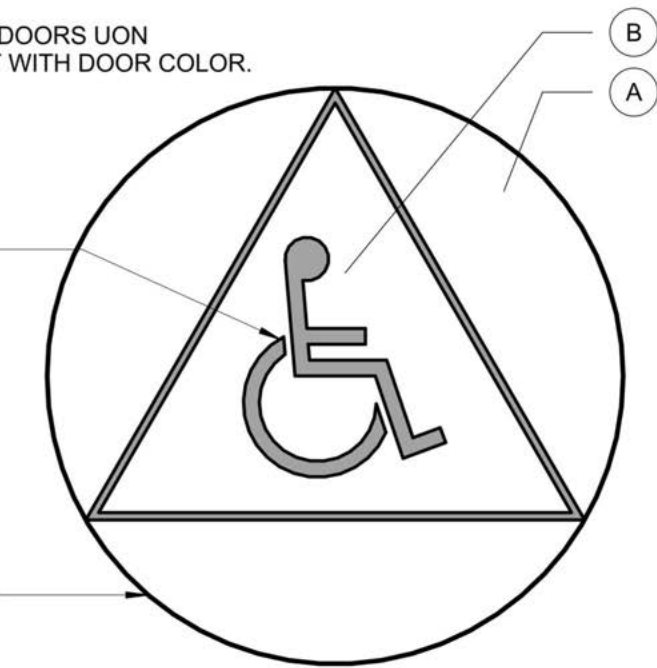
APPLIED TACTILE GRAPHICS (MACHINE ENGRAVED) ACCESSIBLE RESTROOM SIGN IS COMPRISED OF TWO LAYERS OF ACRYLIC MULTIPOLYMER PANELS w/ BULLNOSED EDGES. APPLIED TACTILE GRAPHICS (MACHINE ENGRAVED), SHALL MEET CALIFORNIA DISABLED ACCESS STANDARDS.

- NOTES:**
1. LOCATE PER DETAIL 5/A10.82
2. PROVIDE SIGN ON ALL MENS/BOYS RESTROOM DOORS UON
3. SIGN COLOR SHALL DISTINCTLY CONTRAST w/ DOOR COLOR



APPLIED TACTILE GRAPHICS (MACHINE ENGRAVED) ACCESSIBLE RESTROOM SIGN IS COMPRISED OF MULTIPOLYMER PANELS w/ BULLNOSED EDGES. APPLIED TACTILE GRAPHICS (MACHINE ENGRAVED), SHALL MEET AMERICANS WITH DISABILITIES ACT & ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES.

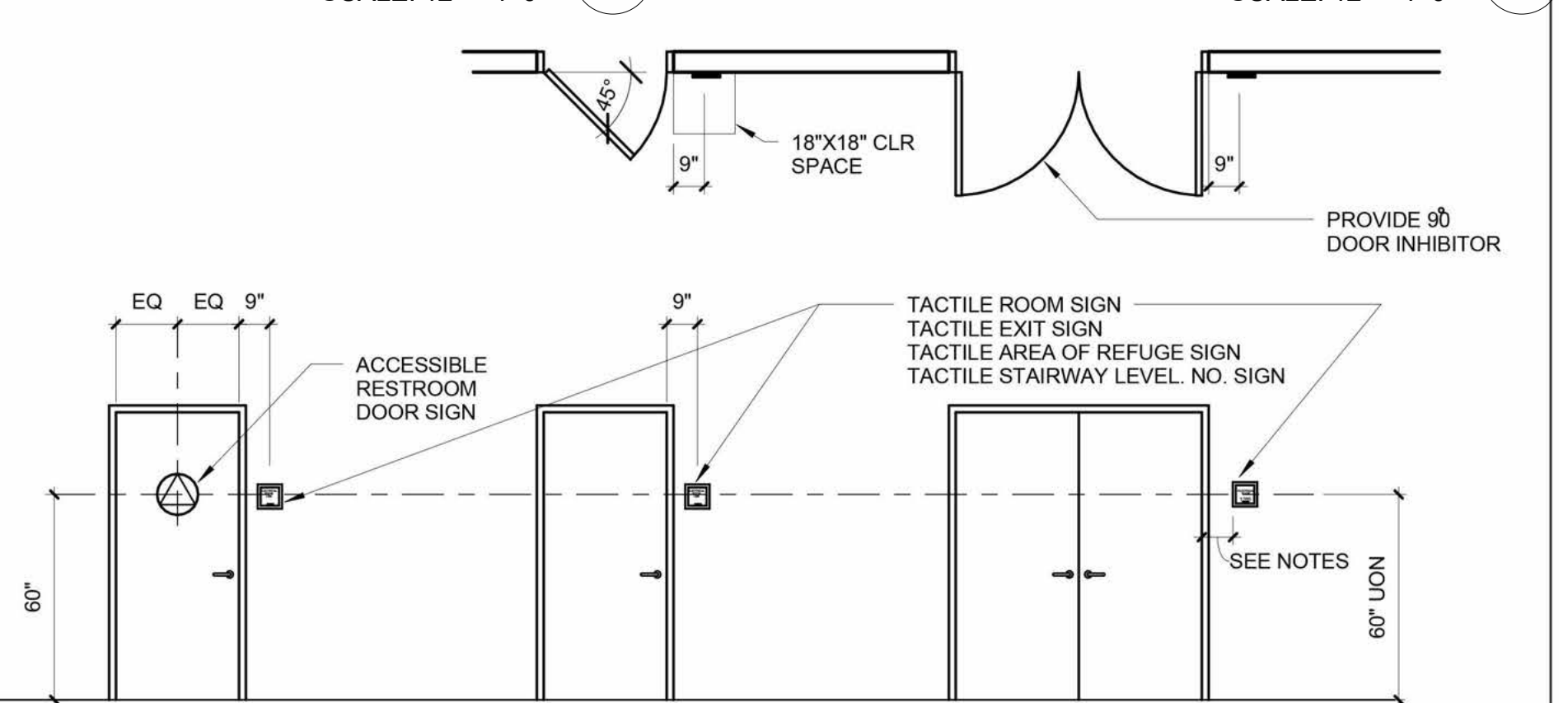
- NOTES:**
1. LOCATE PER DETAIL 5/A10.82
2. PROVIDE SIGN ON ALL UNISEX RESTROOM DOORS UON
3. SIGN COLOR SHALL DISTINCTLY CONTRAST WITH DOOR COLOR.



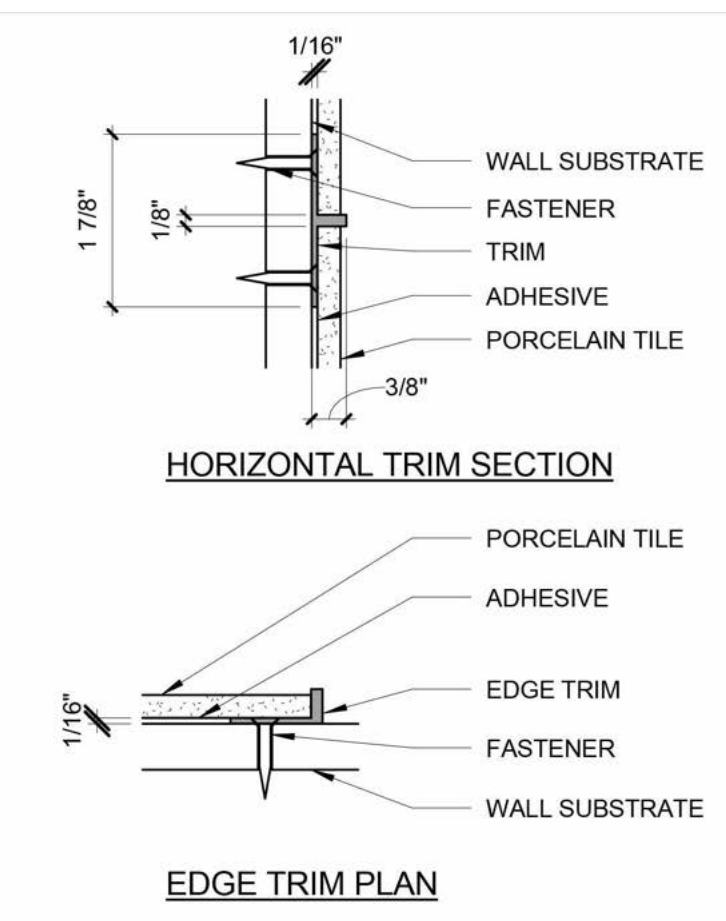
APPLIED TACTILE GRAPHICS (MACHINE ENGRAVED) ACCESSIBLE RESTROOM SIGN IS COMPRISED OF MULTIPOLYMER PANELS w/ BULLNOSED EDGES. APPLIED TACTILE GRAPHICS (MACHINE ENGRAVED), SHALL MEET AMERICANS WITH DISABILITIES ACT & ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES.

RESTROOM SIGNS
SCALE: 12" = 1'-0" 1

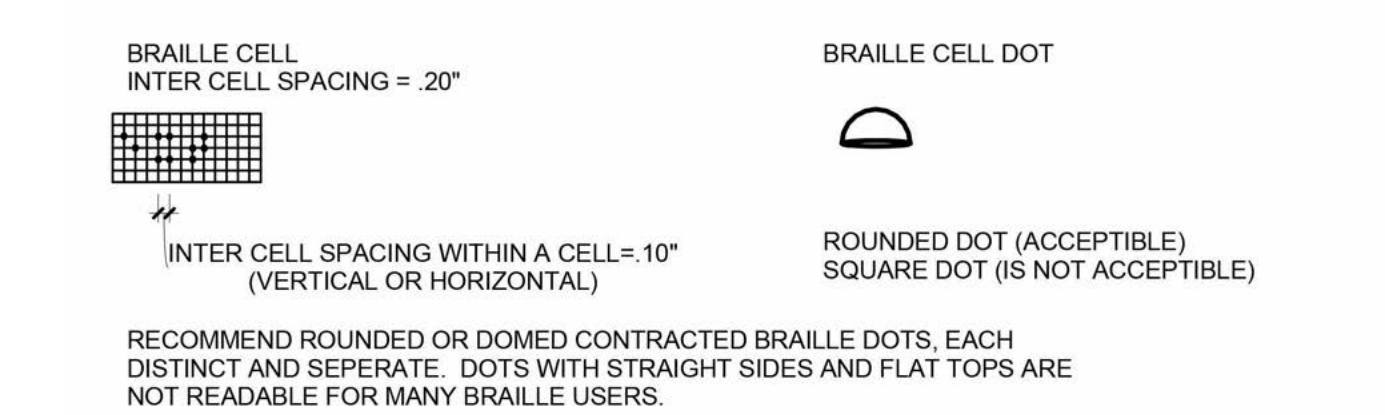
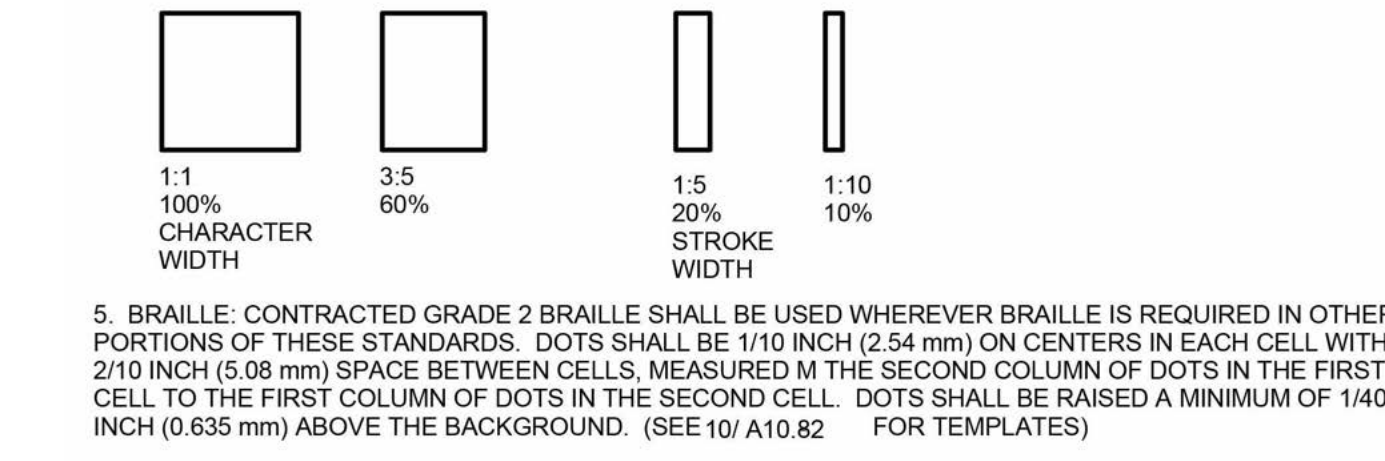
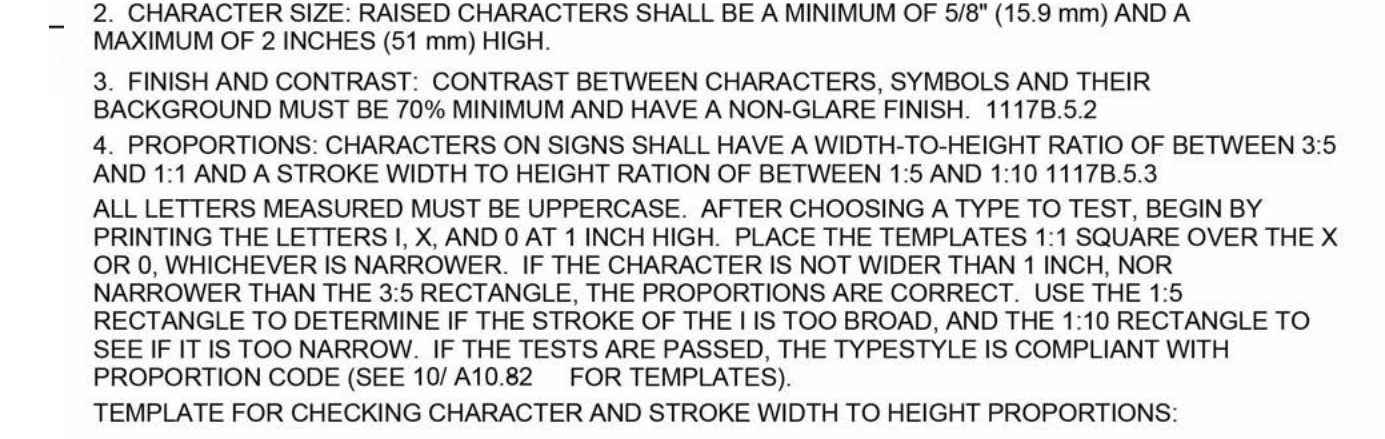
- NOTES:**
1. SIGNS SHALL BE LOCATED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. FOR PAIRS OF DOORS WHERE DOOR SWING IS LIMITED TO 90 DEGREE MOUNT SIGN 9" FROM EDGE OF DOOR. FOR PAIRS OF DOORS WHERE DOOR SWING EXCEEDS 90 DEGREES MOUNT SIGN DOOR WIDTH PLUS 9" FROM EDGE OF DOOR. INSTALL SIGNAGE PER THE SPECIFICATION.
2. SIGNS SHALL BE INSTALLED CENTERED ON THE DOOR. MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. THE COLOR AND CONTRAST OF THE SIGN SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR AND CONTRAST OF THE DOOR.
3. REFER TO DOOR SCHEDULE FOR DESIGNATED DOOR SIGNAGE.



SIGNAGE DETAILS
SCALE: 12" = 1'-0" 2



1. CHARACTER TYPE: CHARACTERS ON SIGNS SHALL BE RAISED 1/32" (0.794 mm) MINIMUM AND SHALL BE SANS-SERIF UPPER-CASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE (SEE NOTE 5 BELOW).
2. CHARACTER SIZE: RAISED CHARACTERS SHALL BE A MINIMUM OF 5/8" (15.9 mm) AND A MAXIMUM OF 2 INCHES (51 mm) HIGH.
3. FINISH AND CONTRAST: CONTRAST BETWEEN CHARACTERS, SYMBOLS AND THEIR BACKGROUND MUST BE 70% MINIMUM AND HAVE A NON-GLARE FINISH. 1117B.5.2
4. PROPORTIONS: CHARACTERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH TO HEIGHT RATION OF BETWEEN 1:5 AND 1:10 1117B.5.3 ALL LETTERS MEASURED MUST BE UPPER-CASE. AFTER CHOOSING A TYPE TO TEST, BEGIN BY PRINTING THE LETTERS I, X, AND O AT 1 INCH HIGH. PLACE THE TEMPLATES 1:1 SQUARE OVER THE X OR O, WHICHEVER IS NARROWER. IF THE CHARACTER IS NOT WIDER THAN 1 INCH, NOR NARROWER THAN THE 3:5 RECTANGLE, THE PROPORTIONS ARE CORRECT. USE THE 1:5 RECTANGLE TO DETERMINE IF THE STROKE OF THE I IS TOO BROAD, AND THE 1:10 RECTANGLE TO SEE IF IT IS TOO NARROW. IF THE TESTS ARE PASSED, THE TYPESTYLE IS COMPLIANT WITH PROPORTION CODE (SEE 10/A10.82 FOR TEMPLATES).
5. BRAILLE: CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/10 INCH (2.54 mm) ON CENTERS IN EACH CELL WITH 2/10 INCH (5.08 mm) SPACE BETWEEN CELLS, MEASURED M THE SECOND COLUMN OF DOTS IN THE FIRST CELL TO THE FIRST COLUMN OF DOTS IN THE SECOND CELL. DOTS SHALL BE RAISED A MINIMUM OF 1/40 INCH (0.635 mm) ABOVE THE BACKGROUND. (SEE 10/A10.82 FOR TEMPLATES)

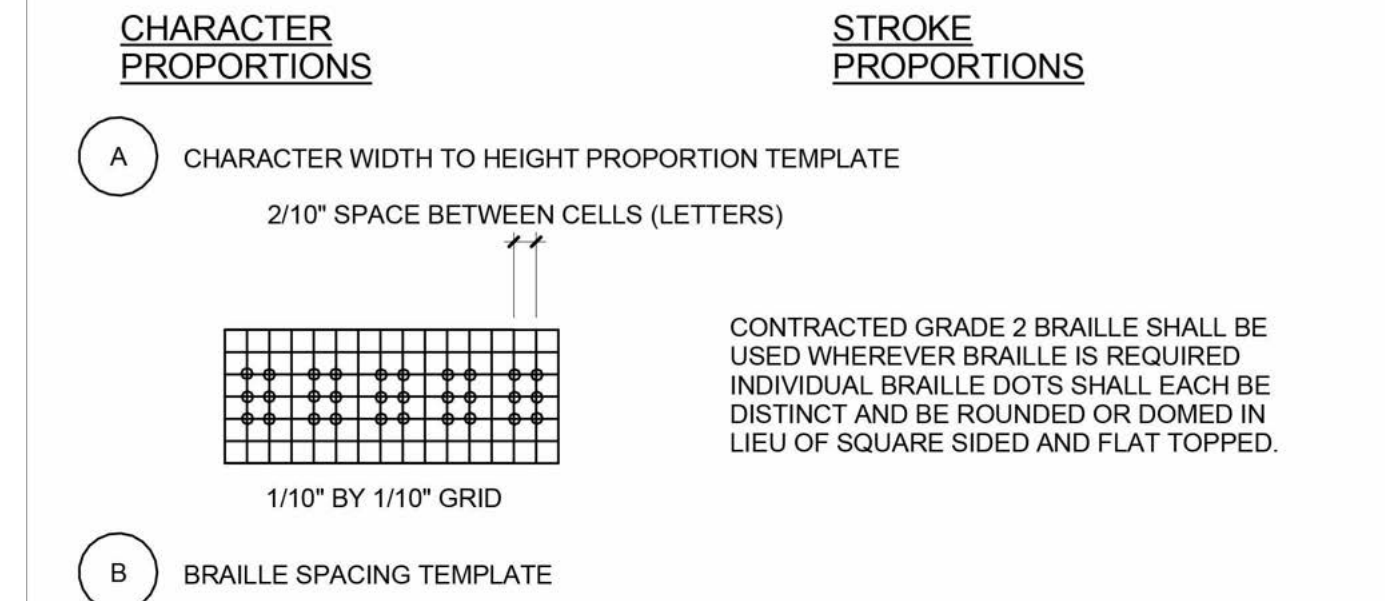
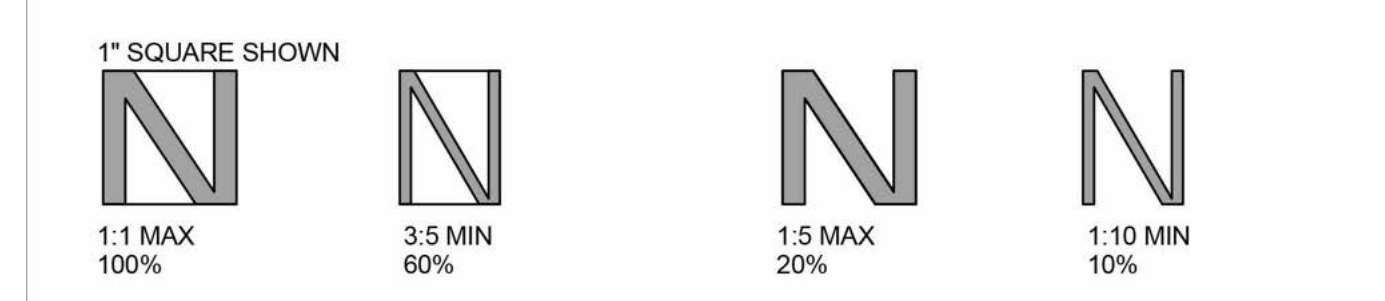


SIGNAGE REQUIREMENTS
SCALE: NOT TO SCALE A2

TEXT.
LETTERS AND NUMBERS SHALL HAVE A WIDTH TO HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH TO HEIGHT RATIO BETWEEN 1:5 AND 1:10. LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM AND SHALL BE SANS-SERIF UPPER-CASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE. RAISED CHARACTERS OR SYMBOLS SHALL BE A MINIMUM OF 5/8" AND A MAXIMUM OF 2" HIGH. THE MINIMUM AND MAXIMUM HEIGHT IS MEASURED USING AN UPPER-CASE 'X'. VERIFY THE TEXT WITH DOOR SCHEDULE.

BRAILLE SYMBOLS:
GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE SYMBOLS ARE REQUIRED BY EITHER THE CALIFORNIA BUILDING CODE OR THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES. BRAILLE SHALL BE LOCATED A MINIMUM OF 3/8" FROM TACTILE CHARACTERS. BRAILLE DOTS SHALL BE 1/10" ON CENTERS IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS. BRAILLE DOTS SHALL BE RAISED 1/40" MINIMUM ABOVE THE BACKGROUND. BRAILLE DOTS TO HAVE DOMED TOPS.

CONTRAST:
CHARACTERS, SYMBOLS AND PICTOGRAMS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS, SYMBOLS AND PICTOGRAMS ON A DARK BACKGROUND OR DARK CHARACTERS, SYMBOLS AND PICTOGRAMS ON A LIGHT BACKGROUND. A CONTRAST BETWEEN THE COLOR OF THE BACKGROUND AND THE COLOR OF THE CHARACTERS, SYMBOLS AND PICTOGRAMS OF AT LEAST 70% BASED ON THE LIGHT REFLECTANCE VALUE IS RECOMMENDED. A CONTRAST BETWEEN THE BACKGROUND COLOR OF THE DOOR MOUNTED TOILET ROOM SIGN AND THE COLOR OF THE DOOR AT LEAST 70% BASED ON THE LIGHT REFLECTANCE VALUE IS RECOMMENDED.



CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED. INDIVIDUAL BRAILLE DOTS SHALL EACH BE DISTINCT AND BE ROUNDED OR DOMED IN LIEU OF SQUARE SIDED AND FLAT TOPPED.

BRAILLE SIGNAGE NOTES
SCALE: NOT TO SCALE A1

Sleepy Hollow Community Center
1317 Butterfield Rd
San Anselmo, CA 94960
APN-176-162-07

Fairchild Broms Design

PO BOX 1528
SAN ANSELMO, CA 94960
415.459.8699

REVISION - CERT STORAGE
ARCHITECT / ENGINEER STAMP



ISSUE / REVISION		
Date	Description	No.
12.16.19	ISSUE FOR PERMIT	
08.03.20	ISSUE FOR CONSTRUCTION	3

PROJECT NO. 19004

DATE 12.16.2019

SCALE 12" = 1'-0"

SHEET TITLE

ACCESSIBILITY / SIGNAGE

SHEET NO.

T1.3



2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (INCLUDING JULY 1, 2018, INTERVENING SUPPLEMENT)

Y	NA	RESPON. PARTY		Y	NA	RESPON. PARTY		Y	NA	RESPON. PARTY		Y	NA	RESPON. PARTY									
			<p>5.303.4 COMMERCIAL KITCHEN EQUIPMENT.</p> <p>5.303.4.1 Food Waste Disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water. <i>Note:</i> This code section does not affect local jurisdiction authority to prohibit or require disposer installation.</p>				<p>SECTION 5.402 DEFINITIONS 5.402.1 DEFINITIONS. The following terms are defined in <i>Chapter 2 (and are included here for reference)</i></p> <p>ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust a damper.</p> <p>BALANCE. To proportion flows within the distribution system, including sub-mains, branches and terminals, according to design quantities.</p> <p>BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed, tested, operated and maintained to meet the owner's project requirements.</p> <p>ORGANIC WASTE. Food waste, green waste, landscape and pruning waste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.</p> <p>TEST. A procedure to determine quantitative performance of a system or equipment</p>									<p>5.410.2 COMMISSIONING. [N] New buildings 10,000 square feet and over. For new buildings 10,000 square feet and over, building commissioning shall be included in the design and construction processes of the building project to verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in accordance with this section by trained personnel with experience on projects of comparable size and complexity. For I-occupancies that are not regulated by OSHPD or for I-occupancies and L-occupancies that are not regulated by the California Energy Code Section 100.0 Scope, all requirements in Sections 5.410.2 through 5.410.2.6 shall apply.</p> <p><i>Note:</i> For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements</p> <p>Commissioning requirements shall include:</p> <ul style="list-style-type: none"> 1. Owner's or Owner Representative's project requirements. 2. Basis of design. 3. Commissioning measures shown in the construction documents. 4. Commissioning plan. 5. Functional performance testing. 6. Documentation and training. 7. Commissioning report. <p>Exceptions:</p> <ul style="list-style-type: none"> 1. Unconditioned warehouses of any size. 2. Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within unconditioned warehouses. 3. Tenant improvements less than 10,000 square feet as described in Section 303.1.1. 4. Open parking garages of any size, or open parking garage areas, of any size, within a structure. <p><i>Note:</i> For the purposes of this section, unconditioned shall mean a building, area, or room which does not provide heating and/or air conditioning.</p> <p>Informational Notes:</p> <ul style="list-style-type: none"> 1. IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of commissioning personnel. AC 476 is available to the Authority Having Jurisdiction as a reference for qualifications of commissioning personnel. AC 476 does not certify individuals to conduct functional performance tests or to adjust and balance systems. 2. Functional performance testing for heating, ventilation, air conditioning systems and lighting controls must be performed in compliance with the California Energy Code. 							<p>5.410.4.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services.</p> <p>5.410.4.5 Operation and maintenance (O & M) manual. Provide the building owner or representative with detailed operation and maintenance instructions and copies of guarantees/warranties for each system. O & M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related regulations.</p> <p>5.410.4.5.1 Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.</p>
			<p>5.303.5 AREAS OF ADDITION OR ALTERATION. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alteration to the building.</p> <p>5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i>, and shall meet the applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> and in <i>Chapter 5</i> of this code.</p>				<p>5.402.2 WEATHER PROTECTION. Provide a weather-resistant exterior wall and foundation envelope as required by <i>California Building Code</i> Section 1403.2 (<i>Weather Protection</i>) and <i>California Energy Code</i> Section 150, (<i>Mandatory Features and Devices</i>), manufacturer's installation instructions or local ordinance, whichever is more stringent.</p> <p>5.402.2 MOISTURE CONTROL. Employ moisture control measures by the following methods.</p> <p>5.402.2.1 Sprinklers. Design and maintain landscape irrigation systems to prevent spray on structures.</p> <p>5.402.2.2 Entries and openings. Design exterior entries and/or openings subject to foot traffic or wind-driven rain to prevent water intrusion into buildings as follows:</p> <p>5.402.2.2.1 Exterior door protection. Primary exterior entries shall be covered to prevent water intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings plus at least one of the following:</p> <ul style="list-style-type: none"> 1. An installed awning at least 4 feet in depth. 2. The door is protected by a roof overhang at least 4 feet in depth. 3. The door is recessed at least 4 feet. 4. Other methods which provide equivalent protection. <p>5.402.2.2.2 Flashing. Install flashings integrated with a drainage plane.</p>									<p>DIVISION 5.5 ENVIRONMENTAL QUALITY SECTION 5.501 GENERAL 5.501.1 SCOPE. The provisions of this chapter shall outline means of reducing the quantity of air contaminants that are odorous, irritating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors.</p> <p>SECTION 5.502 DEFINITIONS 5.502.1 DEFINITIONS. The following terms are defined in <i>Chapter 2 (and are included here for reference)</i></p> <p>ARTERIAL HIGHWAY. A general term denoting a highway primarily for through traffic usually on a continuous route.</p> <p>A-WEIGHTED SOUND LEVEL (dBA). The sound pressure level in decibels as measured on a sound level meter using the internationally standardized A-weighting filter or as computed from sound spectral data to which A-weighting adjustments have been made.</p> <p>1 BTU/HOUR. British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu, the amount of heat required to melt a ton (2,000 pounds) of ice at 32° Fahrenheit.</p> <p>COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A metric similar to the day-night average sound level (Ldn), except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening hours (7pm to 10pm) in addition to the 10 dB nighttime adjustment used in the Ldn.</p> <p>COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in <i>California Code of Regulations (CCR)</i>, Title 17, Section 93120.1(a).</p> <p><i>Note:</i> See CCR, Title 17, Section 93120.1.</p> <p>DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a 24-hour period with a 10 dB adjustment added to sound levels occurring during nighttime hours (10p.m. to 7 a.m.).</p> <p>DECIBEL (dB). A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure, sound power, sound intensity) with respect to a reference quantity.</p> <p>ELECTRIC VEHICLE (EV). An automotive-type vehicle for on-road use, such as passenger automobiles, buses, trucks, vans, neighborhood electric vehicles, electric motorcycles and the like, primarily powered by a electric motor that draws current from a rechargeable storage battery, fuel cell, photovoltaic array, or other source of electric energy. Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the <i>California Electrical Code</i>, off-road, self-propelled electric vehicles, such as industrial tractors, hoists, lifts, transports, golf carts, airline ground support equipment, tractors, boats, and the like, are not included.</p> <p>ELECTRIC VEHICLE CHARGING STATIONS (EVCS). One or more spaces intended for charging electric vehicles.</p> <p>ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The conductors, including the ungrounded, grounded, and equipment grounding conductors and the electric vehicle connectors, attachment plugs, and all other fittings, devices, power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle.</p> <p>ENERGY EQUIVALENT (NOISE) LEVEL (Leq). The level of a steady noise which would have the same energy as the fluctuating noise level integrated over the time period of interest.</p> <p>EXPRESSWAY. An arterial highway for through traffic which may have partial control of access, but which may or may not be divided or have grade separations at intersections.</p> <p>FREEWAY. A divided arterial highway with full control of access and with grade separations at intersections.</p> <p>GLOBAL WARMING POTENTIAL (GWP). The radiative forcing impact of one mass-based unit of a given greenhouse gas relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference compound with a GWP of 1.</p> <p>GLOBAL WARMING POTENTIAL VALUE (GWP VALUE). A 100-year GWP value published by the Intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995), or its Fourth Assessment A-3 Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-yr)" of Table 2.14; the AR4 GWP values are found in column "100 yr" of Table 2.14.</p> <p>HIGH-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that is: (a) a chlorofluorocarbon, a hydrochlorofluorocarbon, a hydrofluorocarbon, a perfluorocarbon, or any compound or blend of compounds, with a GWP value equal to or greater than 150, or (b) any ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009).</p> <p>LONG RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.5 times the pipe diameter.</p> <p>LOW-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that: (A) has a GWP value less than 150, and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009).</p> <p>MERV. Filter minimum efficiency reporting value, based on ASHRAE 52.2-1999.</p> <p>MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundreds of a gram (g O₃/g ROG).</p> <p>PRODUCT-WEIGHTED MIR (PWMI). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMI is the total product reactivity expressed to hundreds of a gram of ozone formed per gram of product (excluding container and packaging).</p> <p>PSIG. Pounds per square inch, gauge.</p> <p>REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.</p> <p>SCHRADER ACCESS VALVES. Access fittings with a valve core installed.</p> <p>SHORT RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.0 times the pipe diameter.</p> <p>SUPERMARKET. For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square feet or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units.</p> <p>VOC. A volatile organic compound broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).</p> <p><i>Note:</i> Where specific regulations are cited from different agencies such as SCAQMD, ARB, etc., the VOC definition included in that specific regulation is the one that prevails for the specific measure in question.</p>							
			<p>5.304.1 SCOPE. The provisions of Section 5.304, Outdoor Water Use reference the mandatory Model Water Efficiency Landscape Ordinance (MWELO) contained within Chapter 2.7, Division 2, Title 23, California Code of Regulations.</p> <p>5.304.2 OUTDOOR WATER USE IN LANDSCAPE AREAS EQUAL TO OR GREATER THAN 500 SQUARE FEET. When water is used for outdoor irrigation for new construction projects with an aggregate landscape area equal to or greater than 500 square feet requiring a building or landscape permit, plan check or design review, one of the following shall apply:</p> <ul style="list-style-type: none"> 1. A local water efficient landscape ordinance that is, based on evidence in the record, at least as effective in conserving water as the updated model ordinance adopted by the Department of Water Resources (DWR) per Government Code Section 65595(c). 2. The California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations. <p>5.304.3 OUTDOOR WATER USE IN REHABILITATED LANDSCAPE PROJECTS EQUAL TO OR GREATER THAN 2,500 SQUARE FEET. Rehabilitated landscape project with an aggregate landscape area equal to or greater than 2,500 square feet requiring a building or landscape permit, plan check, or design review shall comply with Section 5.304.2, Item 1 or 2.</p> <p>5.304.4 OUTDOOR WATER USE IN LANDSCAPE AREAS OF 2,500 SQUARE FEET OR LESS. Any project with an aggregate area of 2,500 square feet or less may comply with the performance requirements of MWELO or conform to the prescriptive compliance measures contained in MWELO's Appendix D.</p> <p>5.304.5 GRAYWATER OR RAINWATER USE IN LANDSCAPE AREAS. For projects using treated or untreated graywater or rainwater captured on site, any lot or parcel within the project that has less than 2,500 square feet of landscape and meets the lot or parcel's landscape water requirement (Estimate Total Water Use) entirely with treated or untreated graywater or through stored rainwater captured on site is subject only to Appendix D (Section 5).</p> <p>Notes:</p> <ul style="list-style-type: none"> 1. DWR's Model Water Efficient Landscape Ordinance, definitions and supporting documents are available at the following link: http://water.ca.gov/wateruse/efficient/landscapeordnace/ 2. A water budget calculator is available at the following link: http://water.ca.gov/wateruse/efficient/landscapeordnace/ 3. The MWELO prescriptive compliance measure Appendix D may be found at the following link: http://water.ca.gov/wateruse/efficient/landscapeordnace/. In addition, a copy of MWELO Appendix D may be found in Chapter 8 of this code. <p>5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS [DSA-SS]. For public schools and community colleges, landscape projects as described in Sections 5.304.6.1 and 5.304.6.2 shall comply with the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations, except that the evapotranspiration adjustment factor (ETAF) shall be 0.65 with an additional water allowance for special landscape areas (SLA) of 0.35.</p> <p><i>Exception:</i> Any project with an aggregate landscape area of 2,500 square feet or less may comply with the prescriptive measures contained in Appendix D of MWELO.</p> <p>5.304.6.1 Newly constructed landscapes, [DSA-SS] New construction projects with an aggregate landscape area equal to or greater than 500 square feet.</p> <p>5.304.6.2 Rehabilitated landscapes, [DSA-SS] Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 500 square feet.</p> <p>5.304.3 IRRIGATION DESIGN. In new nonresidential construction with at least 1,000 but not more than 2,500 square feet of cumulative landscaped area (the level at which the MWELO applies), install irrigation controllers and sensors which include the following criteria, and meet manufacturer's recommendations.</p> <p>5.304.3.1 Irrigation controllers. Automatic irrigation system controllers installed at the time of final inspection shall comply with the following:</p> <ul style="list-style-type: none"> 1. Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change. 2. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input. <p><i>Note:</i> More information regarding irrigation controller function and specifications is available from the Irrigation Association.</p> <p>SECTION 5.305 WATER REUSE SYSTEMS 5.305.1 RECYCLED WATER SUPPLY SYSTEMS. Recycled water supply systems shall be installed in accordance with Sections 5.305.1.1, 5.305.1.2, and the California Plumbing Code.</p> <p>5.304.2 Outdoor Recycled Water Supply Systems. All newly constructed nonresidential developments, where disinfected tertiary recycled water is available from a municipal source to a construction site, shall be provided with both a potable water supply system and a recycled water supply system. The recycled water supply system shall allow the use of reclaimed (recycled) water for aboveground and subsurface irrigation to all landscape irrigation systems.</p> <p>For the purposes of Section 5.305.1.1, when a recycled water supply pipe is located within 300 feet from a construction site boundary, it shall be considered that reclaimed (recycled) water is available from a municipal source.</p> <p>Exceptions:</p> <ul style="list-style-type: none"> 1. Service areas in which the only reclaimed (recycled) water is used for potable purposes, or in which net nonpotable deliveries are anticipated to remain level or decrease as a result of the potable reuse project. 2. Where access to disinfected tertiary recycled water is not feasible and/or cost-efficient, as determined by the authority having jurisdiction in consultation with the recycled water purveyor. <p><i>Note:</i> A city, county, or city and county, in consultation with the recycled water purveyor, may further reduce the area for the mandate to install recycled water supply systems if the recycled water purveyor is unable to accommodate new services or unable to provide uninterrupted service.</p> <ul style="list-style-type: none"> 3. A potable water supply system is not required for landscape irrigation if the landscape irrigation system is supplied with recycled water at the time of final inspection. 4. Potable water may be used with the recycled water supply system on a temporary basis, as allowed by the authority having jurisdiction in consultation with the recycled water purveyor. <p>5.305.1.2 Technical Requirements for Outdoor Recycled Water Supply Systems. Recycled water supply systems for outdoor applications shall meet the requirements of this code, and the California Code of Regulations, Title 17, Division 1, Chapter 5, Subchapter 1, Title 22, Division 4, Chapter 3; and Title 23, Division 2, Chapter 2.7, as applicable.</p>				<p>5.402.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on site until the storage site is developed.</p> <p>Exception: Reuse, either on or off-site, of vegetation or soil contaminated by disease or pest infestation.</p> <p>Notes:</p> <ul style="list-style-type: none"> 1. If contamination by disease or pest infestation is suspected, contact the County Agricultural Commissioner and follow its direction for recycling or disposal of the material. 2. For a map of known pest and/or disease quarantine zones, consult with the California Department of Food and Agriculture. (www.cdffa.ca.gov) <p>SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS 5.410.1 RECYCLING BY OCCUPANTS. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive.</p> <p>Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code 42649.52 (a)(2)(A) et seq. shall also be exempt from the organic waste portion of this section.</p> <p>5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30% or more in floor area, shall provide recycling areas on site.</p> <p>Exception: Additions within a tenant space resulting in less than a 30% increase in the tenant space floor area.</p> <p>5.410.1.2 Sample ordinance. Space allocation for recycling areas shall comply with Chapter 18, Part 3, Division 30 of the <i>Public Resources Code</i>. Chapter 18 is known as the California Solid Waste Reuse and Recycling Access Act of 1991 (Act).</p> <p><i>Note:</i> A sample ordinance for use by local agencies may be found in Appendix A of the document at the CalRecycle's web site.</p>																
			<p>5.410.2.5 Systems manual. [N] Documentation of the operational aspects of the building shall be completed within the systems manual and delivered to the building owner or representative. The systems manual shall include the following:</p> <ul style="list-style-type: none"> 1. Site information, including facility description, history and current procedures. 2. Site contact information. 3. Basic operations and maintenance, including general site operating procedures, basic troubleshooting, recommended maintenance requirements, site events log. 4. Major systems. 5. Site equipment inventory and maintenance notes. 6. A copy of verifications required by the enforcing agency or this code. 7. Other resources and documentation, if applicable. 				<p>5.410.2.5.2 Systems operations training. [N] A program for training of the appropriate maintenance staff for each equipment type and/or system shall be developed and documented in the commissioning report and shall include the following:</p> <ul style="list-style-type: none"> 1. System/equipment overview (what it is, what it does and with what other systems and/or equipment it interfaces). 2. Review and demonstration of servicing/preventive maintenance. 3. Review of the information in the Systems Manual. 4. Review of the record drawings on the system/equipment. 																
			<p>5.410.2.5.2 Systems operations training. [N] A program for training of the appropriate maintenance staff for each equipment type and/or system shall be developed and documented in the commissioning report and shall include the following:</p> <ul style="list-style-type: none"> 1. System/equipment overview (what it is, what it does and with what other systems and/or equipment it interfaces). 2. Review and demonstration of servicing/preventive maintenance. 3. Review of the information in the Systems Manual. 4. Review of the record drawings on the system/equipment. 				<p>5.410.2.6 Commissioning report. [N] A report of commissioning process activities undertaken through the design and construction phases of the building project shall be completed and provided to the owner or representative.</p>																
			<p>5.410.4 TESTING AND ADJUSTING. New buildings less than 10,000 square feet. Testing and adjusting of systems shall be required for new buildings less than 10,000 square feet or new systems to serve an addition or alteration subject to Section 303.1.</p> <p>5.410.4.2 (Reserved)</p> <p><i>Note:</i> For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements and Sections 120.5, 120.6, 130.4, and 140.9(b)(3) for additional testing requirements of specific systems.</p> <p>5.410.4.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include at a minimum, as applicable to the project:</p> <ul style="list-style-type: none"> 1. Renewable energy systems. 2. Landscape irrigation systems. 3. Water reuse systems. <p>5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's specifications and applicable standards on each system.</p> <p>5.410.4.3.1 HVAC Balancing. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards, the National Environmental Balancing Bureau Procedural Standards; Associated Air Balance Council National Standards or as approved by the enforcing agency.</p>																				
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APN -176-162-07

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Broms
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REVISION - CERT STORAGE
ARCHITECT / ENGINEER STAMP



ISSUE / REVISION	Date	Description	No.
	12.16.19	ISSUE FOR PERMIT	
	03.25.20	SCOPE REVISIONS	
08.03.20		ISSUE FOR CONSTRUCTION	3

PROJECT NO. 19004
DATE 12/16/2019
SCALE
SHEET TITLE

CAL GREEN

SHEET NO. T1.5

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE 2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN CODE). DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.



2016 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (INCLUDING JULY 1, 2018, INTERVENING SUPPLEMENT)

Y NA RESPON. PARTY
- YES APPLICABLE
+ NOT APPLICABLE
* RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6.

5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards:
1. Adhesives, adhesive bonding primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

TABLE 5.504.4.1 - ADHESIVE VOC LIMIT^{1,2}

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.
2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168, www.arb.ca.gov/DRDB/SCCURHTMLR1168.PDF.

TABLE 5.504.4.2 - SEALANT VOC LIMIT

SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the AIA Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply.

5.504.4.3.1 Aerosol Paints and coatings. Aerosol paints and coatings shall meet the PVMIR Limits for VOC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94520, and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.

TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{2,3}

COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH-TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS:	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

5.504.4.3.2 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:
1. Manufacturer's product specification
2. Field verification of on-site product containers

5.504.4.4 Carpet Systems. All carpet installed in the building interior shall meet at least one of the testing and product requirements:

- Carpet and Rug Institute's Green Label Plus Program.
- Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.1, February 2010 (also known as CDPH Standard Method V1.1 or Specification 01350).
- NSF/ANSI 140 at the Gold level or higher.
- Scientific Certification Systems Sustainable Choice; or
- Compliant with the Collaborative for High Performance Schools California (CA-CHPS) Criteria Interpretation for EQ 7.0 and EQ 7.1 (formerly EQ 2.2) dated July 2012 and listed in the CHPS High Performance Product Database.

5.504.4.4.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.

5.504.4.4.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1 composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARE's Air Toxics Control Measure for Composite Wood (17 CFR 93120 et seq.). Those materials not exempted under the ATCM must meet the specified emission limits, as shown in Table 5.504.4.5.

5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications.
- Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European 636 S3 standards.
- Other methods acceptable to the enforcing agency.

TABLE 5.504.4.5 - FORMALDEHYDE LIMITS.

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD:	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1332. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCHES (8 MM).

5.504.4.6 Resilient flooring systems. For 80 percent of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the following:

- Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program;
- Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health's 2010 Standard Method for the Testing and Evaluation Chambers, Version 1.1, February 2010;
- Compliant with the Collaborative for High Performance Schools California (CA-CHPS) Criteria Interpretation for EQ 7 and EQ 7.1 (formerly EQ 2.2) dated July 2012 and listed in the CHPS High Performance Product Database; or
- Products certified under UL GREENGUARD Gold (formerly the Greenguard Children's & Schools Program).

5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.

5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 8. MERV 8 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.

Exceptions:

- An ASHRAE 10% to 15% efficiency filter shall be permitted for an HVAC unit meeting the 2013 California Energy Code having 60,000 Btu/hr or less capacity per fan coil, if the energy use of the air delivery system is 0.4 W/ftm or less at design air flow.
- Existing mechanical equipment.

5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.

SECTION 5.505 INDOOR MOISTURE CONTROL.
5.505.1 INDOOR MOISTURE CONTROL. Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1203 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures not applicable to low-rise residential occupancies, see Section 5.407.2 of this code.

SECTION 5.506 INDOOR AIR QUALITY
5.506.1 OUTSIDE AIR DELIVERY. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 1201 (Requirements For Ventilation) of the California Energy Code, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8.

5.506.2 CARBON DIOXIDE (CO₂) MONITORING. For buildings or additions equipped with demand control ventilation, CO₂ sensors and ventilation controls shall be specified and installed in accordance with the requirements of the California Energy Code, Section 120(c)(4).

SECTION 5.507 ENVIRONMENTAL COMFORT
5.507.4 ACOUSTICAL CONTROL. Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.

Exception: Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking structures and utility buildings.

Exception: [DSA-SS] For public schools and community colleges, the requirements of this section and all subsections apply only to new construction.

5.507.4.1 Exterior noise transmission, prescriptive method. Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50 or a composite OITC rating of not less than 40, with exterior windows of a minimum STC of 40 or OITC of 30 in the following locations:

- Within the 65 CNEL noise contour of an airport.
 - Within the 65 CNEL for military airports shall be determined by the facility Air Installation Compatible Land Use Zone (AICL/UZ) plan.
 - Within the 65 CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element.
- Within the 65 CNEL or L_n noise contour of a freeway or expressway, railroad, industrial source or fixed-guideway source as determined by the Noise Element of the General Plan.

5.507.4.1.1. Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L_{dn} - 1hr during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30).

5.507.4.2 Performance Method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq-1hr) of 50 dBA in occupied areas during any hour of operation.

5.507.4.2.1 Site Features. Exterior features such as sound walls or earth berms may be utilized as appropriate to the building, addition or alteration project to mitigate sound migration to the interior.

5.507.4.2.2 Documentation of Compliance. An acoustical analysis documenting computing interior soundlevels shall be prepared by personnel approved by the architect or engineer of record.

5.507.4.3 Interior sound transmission. Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.

Note: Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control: www.loubase.org/PDF/CasesStudies/atc_icc_ratings.pdf.

SECTION 5.508 OUTDOOR AIR QUALITY
5.508.1 Ozone depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.

5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do not contain CFCs.

5.508.1.2 Halons. Install HVAC, refrigeration and fire suppression equipment that do not contain Halons.

5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities.

Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO₂), and potentially other refrigerants.

5.508.2.1 Refrigerant piping. Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigerant systems except as noted below.

5.508.2.1.1 Threaded pipe. Threaded connections are permitted at the compressor rack.

5.508.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less.

5.508.2.1.2.1 Anchorage. One-fourth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mils.

5.508.2.1.3 Flared tubing connections. Double-flared tubing connections may be used for pressure controls, valve pilot lines and oil.

Exception: Single-flared tubing connections may be used with a multering seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's recommendations.

5.508.2.1.4 Elbows. Short radius elbows are only permitted where space limitations prohibit use of long radius elbows.

5.508.2.2 Valves. Valves Valves and fittings shall comply with the California Mechanical Code and as follows.

5.508.2.2.1 Pressure relief valves. For vessels containing high-GWP refrigerant, a rupture disc shall be installed between the outlet of the vessel and the inlet of the pressure relief valve.

5.508.2.2.1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall be installed in the space between the rupture disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve.

5.508.2.2.2 Access valves. Only Schrader access valves with a brass or steel body are permitted to use.

5.508.2.2.2.1 Valve caps. For systems with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic.

5.508.2.2.2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place.

5.508.2.2.2.1 Chain tethers. Chain tethers to fit over the stem are required for valves designed to have seal caps.

Exception: Valves with seal caps that are not removed from the valve during stem operation.

5.508.2.3 Refrigerated service cases. Refrigerated service cases holding food products containing vinegar and salt shall have evaporator coils of corrosion-resistant material, such as stainless steel; or be coated to protect corrosion from these substances.

5.508.2.3.1 Coil coating. Consideration shall be given to the heat transfer efficiency of coil coating to maximize energy efficiency.

5.508.2.4 Refrigerant receivers. Refrigerant receivers with capacities greater than 200 pounds shall be fitted with a device that indicates the level of refrigerant in the receiver.

5.508.2.5 Pressure testing. The system shall be pressure tested during installation prior to evacuation and charging.

5.508.2.5.1 Minimum pressure. The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum.

5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and retest for pressure using the same gauge.

5.508.2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more than a +/- one pound pressure change from 300 psig, measured with the same gauge.

5.508.2.6 Evacuation. The system shall be evacuated after pressure testing and prior to charging.

5.508.2.6.1 First vacuum. Pull a system vacuum down to at least 1000 microns (+/- 50 microns), and hold for 30 minutes.

5.508.2.6.2 Second vacuum. Pull a second system vacuum to a minimum of 500 microns and hold for 30 minutes.

5.508.2.6.3 Third vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours with a maximum drift of 100 microns over a 24-hour period.

**CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS**

702 QUALIFICATIONS
702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Public utility training programs.
- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- Programs sponsored by manufacturing organizations.
- Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCDF]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher.
- Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- Successful completion of a third party apprentice training program in the appropriate trade.
- Other programs acceptable to the enforcing agency.

Notes:

- Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
- HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC-CG] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS
703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

**Sleepy Hollow
Community Center**
1317 Butterfed Rd
San Anselmo, CA 94960
APN -176-162-07

**Fairchild
Broms
Design**

PO BOX 1528
SAN ANSELMO, CA 94960
415.459.8699

REVISION - CERT STORAGE
ARCHITECT / ENGINEER STAMP



ISSUE / REVISION		
Date / Description	Issue For Permit	No.
12.16.19	SCOPE REVISIONS	
08.03.20	ISSUE FOR CONSTRUCTION	3

PROJECT NO. **19004**

DATE **12.16.2019**

SCALE

SHEET TITLE

CAL GREEN

SHEET NO.

T1.6

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**CALGreen VERIFICATION
 GUIDELINES TIER 1
 CHECKLIST**

Application: This checklist shall be used for nonresidential projects that meet the following: new construction, or building additions of 1,000 sq. ft. or greater, or building alterations with a permit valuation of \$200,000 or more pursuant to CALGreen Section 5.301.3, AND are adopting Tier 1 voluntary measures.
Note: All applicable mandatory requirements in chapter 5 shall be met prior to applying Tier 1 voluntary measures.
Instructions:
 Comply with all Tier 1 (prerequisite) measures from the various categories shown on the table below.
 Add a "Y" to all Mandatory and Tier 1 mandatory provisions in the appropriate columns.
 Select the required number of additional electives from those categories shown on the table below and add a "Y" on the selected elective and add an "N" on the rest.
 Count the total number of Tier 1 (prerequisite) measures plus the additional electives and write down the total number at the end of the checklist. Determine if the required number of Tier 1 measures have been selected to achieve Tier 1 compliance.
 Y = Yes (section has been selected and/or included)
 N = No (section has not been selected and/or included)
 O = Other (provide explanation)
 [N] = New construction pursuant to Section 301.3
 [A] = Additions and/or alterations pursuant to Section 301.3

CHAPTER 5 DIVISIONS	SECTION TITLE	CODE SECTION	Y	N	O	Plan sheet, Spec or Attach Reference
DIVISION 5.1 Planning and Design	Mandatory Storm Water Pollution Prevention w/subsections	5.106.1 through 5.106.1.2	X			C6.0
	Mandatory Short Term Bicycle Parking	5.106.4.1.1	X			A1.0
	Mandatory Long Term Bicycle Parking	5.106.4.1.2				N/A
	Mandatory Designated Parking for clean air vehicles	5.106.5.2				N/A
	Tier 1 Prerequisite Designated Parking - 10% of Parking Capacity w/ parking stall markings and stall identification	A5.106.5.1 A5.106.5.1.1 A5.106.5.1.3 A5.106.5.1.4				N/A
	Mandatory Parking stall marking	5.106.5.2.1				N/A
	Mandatory Single (EV) Charging space requirements	5.106.5.3.1				N/A
	Mandatory Multiple (EV) Charging space requirements	5.106.5.3.2				N/A
	Tier 1 Prerequisite Electric Vehicle (EV) Charging [N] w/ associated electrical panel identification and designated parking allowance	A5.106.5.3 A5.106.5.3.1 A5.106.5.3.3 A5.106.5.3.4				N/A
	Mandatory EV charging space calculation [N] w/ exceptions	5.106.5.3.3				N/A
	Mandatory [N] Identification	5.106.5.3.4				N/A
	Mandatory [N] Future charging spaces w/ notes 1-3	5.106.5.3.5				N/A
	Mandatory Light Pollution Reduction [N] w/ exceptions and note	5.106.8				N/A
	Mandatory Grading and Paving, w/exception for Additions and Alterations not altering the drainage path	5.106.10	X			C4.0
	Tier 1 Prerequisite Cool Roof (Table A5.106.11.2.2); SRI 75 when < 2.12; SRI 16 when > 2.12	A5.106.11.2	X			A7.1

SECTION TITLE	CODE SECTION	Y	N	O	Plan sheet, Spec or Attach Reference	
Mandatory Universal waste [A]	5.408.2	X			T1.0	
Mandatory Excavated soil and land clearing debris w/ exceptions and notes	5.408.3				N/A	
Tier 1 Prerequisite Enhanced construction waste reduction 65% – Tier 1 w/ verification	A5.408.3.1 A5.408.3.1.2	X			T1.0	
Mandatory Recycling by Occupants w/ exception	5.410.1.1	X			A1.0	
Mandatory Recycling by Occupants: Additions w/ exception	5.410.1.1				N/A	
Mandatory Recycling by Occupants: Sample ordinance	5.410.1.2				N/A	
Mandatory Commissioning new buildings (≥ 10,000 SF) [N] w/exceptions and notes	5.410.2				N/A	
Mandatory Owner's or Owner representative's Project Requirements (OPR) [N]	5.410.2.1				N/A	
Mandatory Basis of Design (BOD) [N]	5.410.2.2				N/A	
Mandatory Commissioning Plan [N]	5.410.2.3				N/A	
Mandatory Functional Performance Testing [N]	5.410.2.4				N/A	
Mandatory Documentation and Training [N]	5.410.2.5				N/A	
Mandatory Systems Manual [N]	5.410.2.5.1				N/A	
Mandatory Systems Operation Training [N]	5.410.2.5.2				N/A	
Mandatory Commissioning Report [N]	5.410.2.6				N/A	
Mandatory Testing and adjusting for new buildings < 10,000 SF or new systems that serve additions or alterations.	5.410.4	X			M0.02	
Mandatory System Testing Plan for HVAC, Lighting, water heating, renewable energy, landscape irrigation and water reuse.	5.410.4.2	X			M0.02	
Mandatory Procedures for testing and adjusting	5.410.4.3	X			M0.02	
Mandatory HVAC balancing	5.410.4.3.1	X			M0.02	
Mandatory Reporting for testing and adjusting	5.410.4.4	X			M0.02	
Mandatory Operation and Maintenance (O&M) Manual	5.410.4.5	X			M0.02	
Mandatory Inspection and reports	5.410.4.5.1	X			M0.02	
SELECT ONE ELECTIVE (see next page for more options)	Elective Wood framing or OVE w/ note	A5.404.1 A5.404.1.1 A5.404.1.2				
	Elective Regional materials	A5.405.1				
	Elective Bio-based materials	A5.405.2				
	Elective Rapidly renewable materials	A5.405.2.2				
	Elective Reused materials w/ note	A5.405.3				
	Elective Cement and concrete: Cement	A5.405.5.1				
	Elective Cement and concrete: Concrete /w SCM & Mix design equation	A5.405.5.2 A5.405.5.2.1 A5.405.5.2.1.1				
	Elective Cement and concrete: Additional means of compliance	A5.405.5.3				
		A5.405.5.3.1				
		A5.405.5.3.1.1				
		A5.405.5.3.2 A5.405.5.3.2.1 A5.405.5.3.2.2 A5.405.5.3.2.3 A5.405.5.3.2.4				

SECTION TITLE	CODE SECTION	Y	N	O	Plan sheet, Spec or Attach Reference
SELECT ONE ELECTIVE	Elective Community Connectivity	A5.103.1			
	Elective Brownfield or Greyfield site redevelopment or infill area development	A5.103.2 A5.103.2.1	X		
	Elective Reduce development footprint and optimize open space	A5.104.1 A5.104.1.1 A5.104.1.2 A5.104.1.3			
	Elective Disassemble and Reuse Existing Building Structure (70%) with exceptions	A5.105.1.1	X		
		A5.105.1.2			
	Elective Disassemble and Reuse Existing Non-Structure elements (50%) with exceptions	A5.105.1.3			
		A5.105.1.4			
	Elective Salvage	A5.106.2			
	Elective Storm Water Design	A5.106.2.1 A5.106.2.2			
	Elective Low Impact Development (LID)	A5.106.3			
		A5.106.3.1 A5.106.3.2			
	Elective Changing rooms w/ note	A5.106.4.3			N/A
	Elective Parking capacity w/ reduced parking capacity option	A5.106.6			N/A
	Elective Exterior wall shading w/ fenestration and/or opaque wall areas option	A5.106.7			
A5.106.7.1 A5.106.7.2					
Elective Heat Island Effect	A5.106.11				
DIVISION 5.2 Energy Efficiency	Mandatory Meet the minimum Energy Efficiency Standard of Part 6	5.201.1	X		E0-E2, M0.02
	Tier 1 Prerequisite Energy Performance Outdoor lighting power 90% of Part 6	A5.203.1.1.1	X		E0-E2
	Tier 1 Prerequisite If applicable, Service for water heating in restaurants 8,000 sf or greater	A5.203.1.1.2			N/A
	Tier 1 Prerequisite Energy Budget 95% or 90% of Part 6 calculated value of allowance	A5.203.1.2.1			N/A
	Elective On-site renewable energy w/ documentation	A5.211.1 A5.211.1.1			N/A
	Elective Green power	A5.211.3	X		
Elective Elevators w/ car lights and fan	A5.212.1.1 A5.212.1.1.1			N/A	
Elective Escalators w/ controls	A5.212.1.2 A5.212.1.4			N/A	
Elective Steel framing	A5.213.1			N/A	
DIVISION 5.3 Water and Conservation	Mandatory Separate Meters (new Buildings or additions > 50,000 SF that consume more than 100 gal/day)	5.303.1.1	X		
	Mandatory Separate Meters (for tenants in new buildings or additions that consume more than 1,000 gal/day)	5.303.1.2			N/A
	Tier 1 Prerequisite Water Reduction Tier 1, 1.2% savings over the "water use baseline" Table A5.303.2.2 or Meet table A5.303.2.3.1	A5.303.2.3.1	X		
	Mandatory Water closets shall not exceed 1.28 gallons per flush	5.303.3.1	X		P0.01
	Mandatory Wall-mounted urinals shall not exceed 0.125 gpf	5.303.3.2.1	X		P0.01
	Mandatory Floor-mounted urinals shall not exceed 0.5 gpf	5.303.3.2.2	X		P0.01
	Mandatory Single showerhead shall have maximum flow rate of 2.0 gpm (gallons per minute) at 80 psi	5.303.3.3.1	X		P0.01
	Mandatory Multiple showerheads serving one shower shall have a combined flow rate of 2.0 gpm at 80 psi	5.303.3.3.2	X		P0.01

SECTION TITLE	CODE SECTION	Y	N	O	Plan sheet, Spec or Attach Reference	
SELECT ONE ELECTIVE	Elective Choice of materials	A5.406.1 A5.406.1.1 A5.406.1.2 A5.406.1.3	X			
	Elective Life cycle assessment: General	A5.409.1			A7.1	
	Elective Whole building life cycle assessment	A5.409.2				
		A5.409.2.1 A5.409.2.2				
	Elective Materials and system assemblies	A5.409.3				
	Elective Substitution for prescriptive standards	A5.409.4				
	Elective Verification of compliance	A5.409.5				
	DIVISION 5.5 Environmental Quality	Mandatory Fireplaces	5.503.1	X		A7.1
		Mandatory Woodstoves	5.503.1.1			N/A
		Mandatory Temporary ventilation	5.504.1	X		T1.5
		Mandatory Covering of ducts openings and protection of mechanical equipment during construction	5.504.3	X		T1.5
		Mandatory Adhesives, sealants and caulks	5.504.4.1	X		T1.6
Mandatory Paints and coatings		5.504.4.3	X		T1.6	
Mandatory Aerosol paints and coatings		5.504.4.3.1	X		T1.6	
Mandatory Aerosol paints and coatings: Verification		5.504.4.3.2	X		T1.6	
Mandatory Carpet systems		5.504.4.4	X		T1.6	
Mandatory Carpet cushion		5.504.4.4.1	X		T1.6	
Mandatory Carpet adhesives		5.504.4.4.2	X		N/A	
Mandatory Composite wood products		5.504.4.5	X		T1.6	
Mandatory Composite wood products: Documentation		5.504.4.5.3	X		T1.6	
Mandatory Resilient flooring systems		5.504.4.6	X		N/A	
Mandatory Resilient flooring: Verification of compliance		5.504.4.6.1	X		N/A	
Tier 1 Prerequisite Resilient flooring systems, Tier 1 w/ verification		A5.504.4.7 A5.504.4.7.2			N/A	
Tier 1 Prerequisite Thermal insulation, Tier 1 w/ verification of compliance		A5.504.4.8 A5.504.4.8.2	X		A7.1	
Mandatory Filters w/ exceptions		5.504.5.3	X		M0.01	
Mandatory Filters: Labeling	5.504.5.3.1	X		M0.01		
Mandatory Environmental tobacco smoke (ETS) control	5.504.7	X		T1.2		
Mandatory Indoor moisture control	5.505.1			N/A		
Mandatory Outside air delivery	5.506.1	X		M0.01/2		
Mandatory Carbon dioxide (CO2) monitoring	5.506.2			N/A		
Mandatory Acoustical control w/ exception	5.507.4			N/A		
Mandatory Exterior noise transmission, prescriptive method w/ exceptions	5.507.4.1			N/A		
Mandatory Noise exposure where noise contours are not readily available	5.507.4.1.1			N/A		
Mandatory Performance method	5.507.4.2			N/A		
Mandatory Site features	5.507.4.2.1			N/A		
DIVISION 5.6 Greenhouse Gas Reductions	Mandatory Documentation of compliance	5.507.4.2.2			N/A	
	Mandatory Interior sound transmission w/ note	5.507.4.3	X		A8.0	
	Mandatory Ozone depletion and greenhouse gas reductions	5.508.1	X		T1.6	
	Mandatory Chlorofluorocarbons (CFCs)	5.508.1.1	X		T1.6	

SECTION TITLE	CODE SECTION	Y	N	O	Plan sheet, Spec or Attach Reference	
DIVISION 5.4 Material Conservation and Resource Efficiency	Mandatory Nonresidential lavatory faucets	5.303.3.4.1	X		P0.01	
	Mandatory Kitchen faucets	5.303.3.4.2	X		P0.01	
	Mandatory Wash basins	5.303.3.4.3			N/A	
	Mandatory Metering faucets	5.303.3.4.4			N/A	
	Mandatory Metering faucets for wash fountains	5.303.3.4.5			N/A	
	Mandatory Food waste disposers w/ note	5.303.4.1			N/A	
	Mandatory Areas of additions and alterations	5.303.5	X		P0.01	
	Mandatory Standards for plumbing fixtures and fittings	5.303.6	X		P0.01	
	Mandatory Outdoor water use in landscape areas equal to or greater than 500 square feet	5.304.2	X		MMWD REQ	
	Mandatory Outdoor water use in rehabilitated landscape projects with areas equal to or greater than 2,500 square feet	5.304.3			N/A	
	Mandatory Outdoor water use in landscape areas of 2,500 square feet or less	5.304.4	X		L1.0	
	Mandatory Graywater or rainwater use in landscaped areas	5.304.5			N/A	
	DIVISION 5.4 Material Conservation and Resource Efficiency	Elective Nonpotable water systems for indoor use	A5.303.2.3.4			
		Elective Appliances and fixtures for commercial application	A5.303.3	X		A7.1
Elective Nonwater supplied urinals		A5.303.4.1			N/A	
Elective Dual plumbing		A5.303.5			N/A	
Elective Outdoor potable water use		A5.304.2			N/A	
Elective Restoration of areas disturbed by construction		A5.304.6	X		L1.0	
Elective Previously developed sites w/ exception		A5.304.7				
Elective Graywater irrigation systems		A5.304.8				
Elective Nonpotable water systems		A5.305.1			N/A	
Elective Irrigation systems		A5.305.2				
Tier 1 Prerequisite Recycled content for 10% of total material cost 2 PRODUCTS – 75% OF PRODUCTS IN THAT CATEGORY, TILE / TOILET PARTITIONS / COMPOST		A5.405.4 A5.405.4.1 Through	X			L1.0, A7.1
DIVISION 5.4 Material Conservation and Resource Efficiency	Mandatory Weather Protection	5.407.1	X		A3.1	
	Mandatory Moisture Control: sprinklers	5.407.2.1	X		A1.0	
	Mandatory Moisture Control: Exterior door protection	5.407.2.2.1	X		A1.0	
	Mandatory Moisture Control: Flashing	5.407.2.2.2	X		A3.0	
	Mandatory Construction waste management-comply with either: sections 5.408.1.1, 5.408.1.2, 5.408.1.3 or more stringent local ordinance	5.408.1.1 5.408.1.2 5.408.1.3	X		T0.0	
	Mandatory Construction waste management: Documentation w/notes	5.408.1.4	X		T0.0	

SECTION TITLE	CODE SECTION	Y	N	O	Plan sheet, Spec or Attach Reference
SELECT ONE ELECTIVE	Mandatory Halons	5.508.1.2	X		T1.6
	Mandatory Supermarket refrigerant leak reduction for retail food stores 8,000 square feet or more sections 5.508.2 through 5.508.2.6.3	5.508.2 through 5.508.2.6.3			N/A
	Elective Indoor air quality (IAQ) during construction	A5.504.1 A5.504.1.1 A5.504.1.2			
	IAQ postconstruction	A5.504.2			
	Elective IAQ testing	A5.504.2.1 A5.504.2.1.1 A5.504.2.1.2 A5.504.2.1.3			
	Elective No added formaldehyde Tier 1 w/ notes	A5.504.4.5.1	X		A7.1
	Elective Acoustical ceilings and wall panels w/ verification of compliance	A5.504.4.9 A5.504.4.9.1			
	Elective Hazardous particulates and chemical pollutants	A5.504.5			
	Elective Entryway systems	A5.504.5.1			
	Elective Isolation of pollutant sources	A5.504.5.2			
	Elective Filters, Tier 1	A5.504.5.3.1			
	Elective Lighting and thermal comfort controls	A5.507.1 A5.507.1.1 Through A5.507.1.2			
	Elective Daylight w/ exception	A5.507.2			
	Elective Views w/ exception	A5.507.3	X		A2.0
	Elective Interior office spaces	A5.507.3.1			N/A
	Elective Multi-occupant spaces	A5.507.3.2	X		A1.0, A2.0
	Elective Hydrochlorofluorocarbons (HCFCs)	A5.508.1.3	X		M0.02
	Elective Hydrofluorocarbons (HFCs)	A5.508.1.4			
Additional Measures	Select 1 additional measure (from any division)	Add section #			
Total number of Measures required for Tier 1		15			
Total number of Measures selected		15			
Documentation Author's/Responsible Designer's Declaration Statement					
Check the appropriate box(es) for the list below					
• Mandatory: I attest that the mandatory provisions checklist is accurate and complete. • Tier 1 compliant: I attest that the total number of voluntary measures selected meet or exceed the total number required to achieve Tier 1 compliance. • Partial Tier 1 compliant: I attest that the total number of voluntary measures selected do not meet the total number required to achieve Tier 1 compliance however partial Tier 1 compliance has been achieved.					
Signature: _____					
Company: Fairchild Broms Design	Date: 12.16.2019				
Address: PO Box 1528	License: C26043				
City/State/Zip: San Anselmo / CA / 94960	Phone: 415.459.8699				

**Sleepy Hollow
 Community Center**
 1317 Butterfield Rd
 San Anselmo, CA 94960
 APN - 176-162-07

**Fairchild
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 Design**

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 SAN ANSELMO, CA 94960
 415.459.8699

REVISION - CERT STORAGE
 ARCHITECT / ENGINEER STAMP



Project Name: Sleepy Hollow Cibola Apts - 2016 Strds 200528
Project Address: 1317 Butterfield Road San Anselmo
Compliance Scope: ExistingAdditionAndAlteration

1. Project Location (city)	San Anselmo	8. Standards Version	Compliance2016
2. CA Zip Code		9. Compliance Software (Version)	EnergyPro 7.2
3. Climate Zone	2	10. Weather File	NAPA_CO_724955_C22010.epw
4. Total Conditioned Floor Area in Scope	4,441 ft ²	11. Building Orientation (deg)	(N) 0 deg
5. Total Unconditioned Floor Area	245 ft ²	12. Permitted Scope of Work	ExistingAdditionAndAlteration
6. Total # of Stories (Habitable Above Grade)	1	13. Building Type(s)	Nonresidential
7. Total # of dwelling units	0	14. Gas Type	NaturalGas

1. Energy Component	2. Standard Design (TDV)	3. Proposed Design (TDV)	4. Compliance Margin (TDV)	5. Percent Better than Standard
Space Heating	36.32	39.23	-2.93	-18.0%
Space Cooling	79.31	76.20	3.11	3.9%
Indoor Fans	127.29	121.09	6.20	4.9%
Heat Rejection	-	-	-	-
Pumps & Misc.	-	-	-	-
Domestic Hot Water	1.17	3.03	-1.86	-159.0%
Indoor Lighting	74.46	37.74	36.72	49.3%
COMPLIANCE TOTAL	298.55	257.31	41.24	13.8%
Receptacle	70.57	70.57	0.0	0.0%
Process	4.78	4.78	0.0	0.0%
Other Ltg	-	-	-	-
Process Motors	-	-	-	-
TOTAL	373.90	332.66	41.2	11.0%

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Compliance Scope: ExistingAdditionAndAlteration

1st	Indoor Lighting: Check lighting	Compliance Margin by Energy Component (from Table B column 4)
2nd	Indoor Fans: Check envelope and mechanical	
3rd	Space Cooling: Check envelope and mechanical	
4th	Heat Rejection: Check envelope and mechanical	
5th	Pumps & Misc: Check mechanical	
6th	Domestic Hot Water: Check mechanical	
7th	Space Heating: Check envelope and mechanical	

D. EXCEPTIONAL CONDITIONS
This project uses the Simplified Geometry Performance Modeling Approach which is not capable of modeling daylighting controls and assumes the prescriptive Secondary Daylit Control requirements are met.

E. HERS VERIFICATION
This Section Does Not Apply

F. ADDITIONAL REMARKS
None Provided

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Compliance Scope: ExistingAdditionAndAlteration

Building Component	Compliance Path	Compliance Forms (required for submittal)	Location of Mandatory Notes on Plans
Envelope	Performance	NRCC-PRF-ENV-DETAILS (section of the NRCC-PRF-01-E)	
	Prescriptive	NRCC-ENV-01 / 02 / 03 / 04 / 05 / 06-E	
	NA		
Mechanical	Performance	NRCC-PRF-MCH-DETAILS (section of the NRCC-PRF-01-E)	
	Prescriptive	NRCC-MCH-01 / 02 / 03 / 04 / 05 / 06 / 07-E	
	NA		
Domestic Hot Water	Performance	NRCC-PRF-PLB-DETAILS (section of the NRCC-PRF-01-E)	
	Prescriptive	NRCC-PLB-01-E	
	NA		
Lighting (Indoor Conditioned)	Performance	NRCC-PRF-LTI-DETAILS (section of the NRCC-PRF-01-E)	
	Prescriptive	NRCC-LTI-01 / 02 / 03 / 04 / 05-E	
	NA		
Covered Process: Commercial Kitchens	Performance	S2 (section of the NRCC-PRF-01-E)	
	Prescriptive	NRCC-PRC-01 / 03-E	
	NA		
Covered Process: Computer Rooms	Performance	S3 (section of the NRCC-PRF-01-E)	
	Prescriptive	NRCC-PRC-01 / 04-E	
	NA		
Covered Process: Laboratory Exhaust	Performance	S4 (section of the NRCC-PRF-01-E)	
	Prescriptive	NRCC-PRC-01 / 09-E	
	NA		

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Compliance Scope: ExistingAdditionAndAlteration

Yes	NA	Prescriptive Requirement	Compliance Forms	Yes	NA	Mandatory Requirement	Compliance Forms
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Lighting (Indoor Unconditioned) §140.6	NRCC-LTI-01 / 02 / 03 / 04 / 05-E	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Commissioning §110.8 Simple Systems	NRCC-CMR-01 / 02 / 03 / 05-E NRCC-CMR-01 / 02 / 04 / 05-E
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Lighting (Outdoor) §140.7	NRCC-LTO-01 / 02 / 03-E	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Electrical §130.5	NRCC-ELC-01-E
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Lighting (Sign) §140.8	NRCC-LTS-01-E	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Solar Ready §110.10	NRCC-SRA-01 / 02-E
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Solar Thermal Water Heating: §140.5	NRCC-STH-01-E	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Covered Process: §120.6 Parking Garage Commercial Refrigeration Warehouse Refrigeration Compressed Air Process Boilers	NRCC-PRC-01-E NRCC-PRC-02-E NRCC-PRC-05-E NRCC-PRC-06/07/08-E NRCC-PRC-10-E NRCC-PRC-11-E

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Compliance Scope: ExistingAdditionAndAlteration

Building Component	Compliance Forms (required for submittal)	Pass	Fail
Envelope	<input checked="" type="checkbox"/> NRCC-ENV-01-E - For all buildings	<input type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/> NRCC-ENV-02-F - NFRC label verification for fenestration	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-01-E - For all buildings with Mechanical Systems	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-02-A - Outdoor Air	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-03-A - Constant Volume Single Zone HVAC	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-04-H - Air Distribution Duct Leakage	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-05-A - Air Economizer Controls	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-06-A - Demand Control Ventilation	<input type="checkbox"/>	<input type="checkbox"/>
Mechanical	<input type="checkbox"/> NRCC-MCH-07-A - Supply Fan Variable Flow Controls	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-08-A - Valve Leakage Test	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-09-A - Supply Water Temp Reset Controls	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-10-A - Hydronic System Variable Flow Controls	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-11-A - Auto Demand Shed Controls	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-12-A - Packaged Direct Expansion Units	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-13-A - Air Handling Units and Zone Terminal Units	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-14-A - Distributed Energy Storage	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-15-A - Thermal Energy Storage	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-16-A - Supply Air Temp Reset Controls	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-17-A - Condensate Water Temp Reset Controls	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-MCH-18-A - Energy Management Controls Systems	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> NRCC-MCH-04-H - Duct Leakage Test	<input type="checkbox"/>	<input type="checkbox"/>	

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Compliance Scope: ExistingAdditionAndAlteration

Building Component	Compliance Forms (required for submittal)	Pass	Fail
Plumbing	<input checked="" type="checkbox"/> NRCC-PLB-01-E - For all buildings with Plumbing Systems	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-PLB-02-E - required on central systems in high-rise residential, hotel/motel application.	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-PLB-03-E - Single dwelling unit systems in high-rise residential, hotel/motel application.	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-PLB-21-E - HERS verified central systems in high-rise residential, hotel/motel application.	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-PLB-22-E - HERS verified single dwelling unit systems in high-rise residential, hotel/motel application.	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCCV-PLB-21-H - HERS verified central systems in high-rise residential, hotel/motel application.	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCCV-PLB-22-H - HERS verified single dwelling unit systems in high-rise residential, hotel/motel application.	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-STH-01-E - Any solar water heating	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NA		
Indoor Lighting	<input checked="" type="checkbox"/> NRCC-LTI-01-E - For all buildings	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-LTI-02-E - Lighting control system, or for an Energy Management Control System (EMCS)	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-LTI-03-E - Line-voltage track lighting integral current limiter, or for a supplementary overcurrent protection panel used to energize only line-voltage track lighting	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-LTI-04-E - Two interlocked systems serving an auditorium, a convention center, a conference room, or a theater	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-LTI-05-E - Lighting Control Credit Power Adjustment Factor (PAF)	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-LTI-06-E - Additional wattage installed in a video conferencing studio	<input type="checkbox"/>	<input type="checkbox"/>
Outdoor Lighting	<input checked="" type="checkbox"/> NRCC-LTI-02-A - Occupancy sensors and automatic time switch controls.	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-LTI-03-A - Automatic daylighting controls	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-LTI-04-A - Demand responsive lighting controls	<input type="checkbox"/>	<input type="checkbox"/>
Sign Lighting	<input type="checkbox"/> NRCC-LTO-01-E - Outdoor Lighting	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-LTO-02-E - EMCS Lighting Control System	<input type="checkbox"/>	<input type="checkbox"/>
Electrical	<input type="checkbox"/> NRCC-LTS-01-E - Sign Lighting	<input type="checkbox"/>	<input type="checkbox"/>
Photovoltaic	<input type="checkbox"/> NRCC-ELC-01-E - Electrical Power Distribution	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-SPV-01-E Photovoltaic Systems	<input type="checkbox"/>	<input type="checkbox"/>

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Compliance Scope: ExistingAdditionAndAlteration

Building Component	Compliance Forms (required for submittal)	Pass	Fail
Covered Process	<input type="checkbox"/> NRCC-PRC-01-E Covered Processes	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-PRC-01-F - Compressed Air Systems	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-PRC-02-F - Kitchen Exhaust	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-PRC-03-F - Garage Exhaust	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-PRC-04-F - Refrigerated Warehouse - Evaporator Fan Motor Controls	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-PRC-05-F - Refrigerated Warehouse - Evaporator Condenser Controls	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-PRC-06-F - Refrigerated Warehouse - Air Cooled Condenser Controls	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> NRCC-PRC-07-F - Refrigerated Warehouse - Variable Speed Compressor	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> NRCC-PRC-08-F - Electrical Resistance Underslab Heating System	<input type="checkbox"/>	<input type="checkbox"/>	

I. ENVELOPE GENERAL INFORMATION (See NRCC-PRF-ENV-DETAILS for more information)

1. Total Conditioned Floor Area	2. Total Unconditioned Floor Area	3. Addition Conditioned Floor Area	4. Addition Unconditioned Floor Area	5. Number of Floors Above Grade	6. Number of Floors Below Grade	7. Total Fenestration Area	8. Window to Wall Ratio	Confirmed
4,441 ft ²	245 ft ²	326 ft ²	0 ft ²	1	0	1,100 ft ²	88.1%	<input type="checkbox"/>
						474 ft ²	175.1%	<input type="checkbox"/>
						1,410 ft ²	243.1%	<input type="checkbox"/>
						720 ft ²	138.1%	<input type="checkbox"/>
						3,704 ft ²	644.1%	<input type="checkbox"/>
						4,462 ft ²	112.1%	<input type="checkbox"/>

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Compliance Scope: ExistingAdditionAndAlteration

1. Fenestration Assembly Name / Tag or I.D.	2. Fenestration Type / Product Type / Frame Type	3. Certification Method ¹	4. Assembly Method	5. Area ft ²	6. Overall U-factor	7. Overall SHGC	8. Overall VT	9. Shading Device	10. Pass/Fail	11. IRP
Single Metal Clear Window	Vertical Fenestration Fixed Window Metal Framing	Default Performance	Sitebuilt	77	1.19	0.83	0.77	E	<input type="checkbox"/>	<input type="checkbox"/>
alt NFRC SL w/curb glass 58/25/49	Single Fixed Window N/A	NFRC Rated	Manufactured	112	0.58	0.25	0.49	A	<input type="checkbox"/>	<input type="checkbox"/>
NFRC Folding Door 45/23/17	Vertical Fenestration Glazed Door N/A	NFRC Rated	Manufactured	192	0.45	0.23	0.17	N	<input type="checkbox"/>	<input type="checkbox"/>
NFRC Swing Door 45/23/17	Vertical Fenestration Glazed Door N/A	NFRC Rated	Manufactured	105	0.45	0.23	0.17	N	<input type="checkbox"/>	<input type="checkbox"/>
NFRC Operable 46/25/32	Vertical Fenestration Operable Window N/A	NFRC Rated	Manufactured	220	0.46	0.25	0.32	N	<input type="checkbox"/>	<input type="checkbox"/>
alt NFRC Fixed 47/31/42	Vertical Fenestration Operable Window N/A	NFRC Rated	Manufactured	50	0.47	0.31	0.42	A	<input type="checkbox"/>	<input type="checkbox"/>

K. OPAQUE SURFACE ASSEMBLY SUMMARY

1. Surface Name	2. Surface Type	3. Area (ft ²)	4. Framing Type	5. Cavity R-Value	6. Continuous R-Value	7. U-Factor / F-Factor / C-Factor	8. Shading Device	9. Pass/Fail	10. IRP
ex R-0 Wall10	ExteriorWall	720	NA	0	NA	U-Factor: 0.407	E	<input type="checkbox"/>	<input type="checkbox"/>
alt R-13 Wall16	ExteriorWall	365	Wood	13	NA	U-Factor: 0.102	A	<input type="checkbox"/>	<input type="checkbox"/>
alt Rafter Roof new batt21	Roof	990	Wood	19	NA	U-Factor: 0.056	A	<input type="checkbox"/>	<input type="checkbox"/>

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1. Surface Name	2. Surface Type	3. Area (ft ²)	4. Framing Type	5. Cavity R-Value	6. Continuous R-Value	7. U-Factor / F-Factor / C-Factor	8. Shading Device	9. Pass/Fail	10. IRP
ex Slab On Grade26	UndergroundFloor	4115	NA	0	NA	F-Factor: 0.730	E	<input type="checkbox"/>	<input type="checkbox"/>
ex ex Slab On Grade31	UndergroundFloor	245	NA	0	NA	F-Factor: 0.730	E	<input type="checkbox"/>	<input type="checkbox"/>
ex R-11 Wall18	ExteriorWall	2312	Wood	11	NA	U-Factor: 0.110	E	<input type="checkbox"/>	<input type="checkbox"/>
alt Attic Roof ex batt44	Roof	834	Wood	19	NA	U-Factor: 0.056	A	<input type="checkbox"/>	<input type="checkbox"/>
alt Attic Roof R-1958	Roof	763	Wood	19	NA	U-Factor: 0.055	A	<input type="checkbox"/>	<input type="checkbox"/>
R-19 Wall76	ExteriorWall	392	Wood	19	NA	U-Factor: 0.072	N	<input type="checkbox"/>	<input type="checkbox"/>
alt Roof R-19 rigid83	Roof	1901	NA	0	18	U-Factor: 0.049	A	<input type="checkbox"/>	<input type="checkbox"/>
Slab On Grade85	UndergroundFloor	326	NA	0	NA	F-Factor: 0.730	N	<input type="checkbox"/>	<input type="checkbox"/>

L. ROOFING PRODUCT SUMMARY

1. Product Type	2. Product Density (lb/ft ³)	3. Aged Solar Reflectance	4. Thermal Emittance	5. SRI	6. Cool Roof Credit	7. Roofing Product Description	8. Pass/Fail	9. IRP
alt Rafter Roof new batt21	5.778	0.08	0.75	NA	No	NA	<input type="checkbox"/>	<input type="checkbox"/>
alt Rafter Roof ex batt44	5.778	0.08	0.75	NA	No	NA	<input type="checkbox"/>	<input type="checkbox"/>
alt Attic Roof R-1958	5.813	0.08	0.75	NA	No	NA	<input type="checkbox"/>	<input type="checkbox"/>
alt Roof R-19 rigid83	7.146	0.08	0.75	NA	No	NA	<input type="checkbox"/>	<input type="checkbox"/>

M. HVAC SYSTEM SUMMARY (see NRCC-PRF-MCH-DETAILS for more information)

1. System Type	2. System Description	3. System Efficiency	4. System Controls	5. System Notes	6. System Pass/Fail	7. System IRP
				Dry System Equipment Section Does Not Apply	<input type="checkbox"/>	<input type="checkbox"/>

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Sleepy Hollow Community Center
1317 Butterfield Rd
San Anselmo, CA 94960
APN - 176-162-07

Fairchild Broms Design

PO BOX 1528
SAN ANSELMO, CA 94960
415.459.8699

REVISION - CERT STORAGE

ARCHITECT / ENGINEER STAMP



DATE	DESCRIPTION	No.
05.20.2020	PLAN CHECK CORRECTIONS / REVISION 1	1
08.03.20	ISSUE FOR CONSTRUCTION	3

PROJECT NO. 19004

DATE 05.20.2020

SCALE

SHEET TITLE

TITLE 24

SHEET NO. T1.8

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Project Name: Sleepy Hollow Clubhs Alts - 2016 Strds 200528
 Project Address: 1317 Butterfield Road San Anselmo
 Compliance Scope: ExistingAdditionAndAlteration

C. TAILORED METHOD CONDITIONED LIGHTING POWER ALLOWANCE SUMMARY AND CHECKLIST (Adapted from NRCC-LTI-04-E) § 140.6

D. GENERAL LIGHTING POWER (Adapted from NRCC-LTI-04-E) § 140.6-D

E. GENERAL LIGHTING FROM SPECIAL FUNCTION AREAS (Adapted from NRCC-LTI-04-E) § 140.6(c) 3H

Room Number	Primary Function Area	Illuminance Value (Lux)	Room Cavity Ratio (Table G)	Allowed LPD	Floor Area (ft²)	Allowed Watts	Confirmed
NA	NA	NA	NA	NA	NA	NA	Pass Fail

F. ROOM CAVITY RATIO (Adapted from NRCC-LTI-04-E)

Room Number	Task/Activity Description	Room Length (ft)	Room Width (ft)	Room Cavity Height (ft)	RCR	Confirmed
NA	NA	NA	NA	NA	NA	Pass Fail

G. ADDITIONAL "USE IT OR LOSE IT" (Adapted from NRCC-LTI-04-E)

1. Wall Display	2. Combined Floor Display and Task Lighting	3. Combined Ornamental and Special Effects Lighting	4. Very Valuable Merchandise	Allowed Watts	Confirmed
0	0	0	0	0	Pass Fail

5. Wall Display

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6. Floor Display and Task Lighting

7. Combined Ornamental and Special Effects Lighting

8. Very Valuable Merchandise

H. INDOOR & OUTDOOR LIGHTING ACCEPTANCE TESTS & FORMS (Adapted from NRCC-LTI-01-E and NRCC-LTI-02-E) § 130.4

Declaration of Required Acceptance Certificates (NRCA) - Acceptance Certificates that must be verified in the field. (Retain copies and verify forms are completed and signed to post in field for Field Inspector to verify).

Test Description	Indoor				Outdoor	Confirmed	
	NRCA-LTI-02-A	NRCA-LTI-03-A	NRCA-LTI-04-A	NRCA-LTI-02-A		Pass	Fail
Equipment Requiring Testing or Verification	# of units	Occ Sensors / Auto Time Switch	Auto Daylight	Demand Responsive	Outdoor Controls	Pass	Fail
Occupant Sensors	7	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Automatic Time Switch	0	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Automatic Daylighting	0	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Demand Responsive	0	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Outdoor Controls	0	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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Project Name: Sleepy Hollow Clubhs Alts - 2016 Strds 200528
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 Compliance Scope: ExistingAdditionAndAlteration

6. Floor Display and Task Lighting

7. Combined Ornamental and Special Effects Lighting

8. Very Valuable Merchandise

H. INDOOR & OUTDOOR LIGHTING ACCEPTANCE TESTS & FORMS (Adapted from NRCC-LTI-01-E and NRCC-LTI-02-E) § 130.4

Declaration of Required Acceptance Certificates (NRCA) - Acceptance Certificates that must be verified in the field. (Retain copies and verify forms are completed and signed to post in field for Field Inspector to verify).

Test Description	Indoor				Outdoor	Confirmed	
	NRCA-LTI-02-A	NRCA-LTI-03-A	NRCA-LTI-04-A	NRCA-LTI-02-A		Pass	Fail
Equipment Requiring Testing or Verification	# of units	Occ Sensors / Auto Time Switch	Auto Daylight	Demand Responsive	Outdoor Controls	Pass	Fail
Occupant Sensors	7	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Automatic Time Switch	0	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Automatic Daylighting	0	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Demand Responsive	0	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Outdoor Controls	0	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583 Report Generated at: 2020-05-28 14:56:10

STATE OF CALIFORNIA
 CALIFORNIA ENERGY COMMISSION
 NRCC-LTI-E (Created 7/18)

Indoor Lighting
 CERTIFICATE OF COMPLIANCE

Project Name: Sleepy Hollow Clubhouse Alts - 2016 Strds 200526
 Project Address: 1317 Butterfield Road

A. GENERAL INFORMATION

01 Project Location (city)	San Anselmo	04 Total Conditioned Floor Area (ft²)	0
02 Climate Zone	2	05 Total Unconditioned Floor Area (ft²)	246
03 Occupancy Types Within Project (select all that apply):	Warehouse	06 # of Stories (Habitable Above Grade)	-999

B. PROJECT SCOPE

C. COMPLIANCE RESULTS

Lighting in conditioned and unconditioned spaces must not be combined for compliance per §140.6(d)(1)	01	02	03	04	05	06	07	08	09	10
Complete Building	Area Category	Footnotes	Tailored	Total Allowed (Watts)	Total Designated (Watts)	Adjustments	PAF Control Credits	Total Actual (Watts)	Adjustments	05 Must be ≥ 09 §140.6
(See Table I)	(See Table I)	(See Table K)	(See Table L)	212.3	212.3	203	203	203	COMPLIES	

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance: http://www.energy.ca.gov/title24/2016standards July 2018

STATE OF CALIFORNIA
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Indoor Lighting
 CERTIFICATE OF COMPLIANCE

Project Name: Sleepy Hollow Clubhouse Alts - 2016 Strds 200526
 Project Address: 1317 Butterfield Road

D. EXCEPTIONAL CONDITIONS

E. ADDITIONAL REMARKS

F. INDOOR LIGHTING FIXTURE SCHEDULE

Name or Item Tag	Complete Building	Area Category	Specialized Luminaire Types	Watts per luminaire	How Wattage is determined	Total number luminaires	Exempt per §140.6(i)(3)	Design Watts	Field Inspector
A1	A1 surface 31w LED		Track	31	Mfr. Spec	6		186	Pass Fail
A2	A2 surface 17w LED		Portable	17	Mfr. Spec	1		17	Pass Fail
Total Designated Watts UNCONDITIONED SPACES:								203	

G. TRACK LIGHTING

H. INDOOR LIGHTING CONTROLS (Not Including PAFs)

Building Level Controls	01	02	03
Mandatory Demand Response		Shut-off Controls	Field Inspector
Not Required < 10,000 SF		See Area Level Controls	Pass Fail

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance: http://www.energy.ca.gov/title24/2016standards July 2018

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Indoor Lighting
 CERTIFICATE OF COMPLIANCE

Project Name: Sleepy Hollow Clubhouse Alts - 2016 Strds 200526
 Project Address: 1317 Butterfield Road

I. LIGHTING POWER ALLOWANCE: COMPLETE BUILDING OR AREA CATEGORY METHODS

Area Description	01	02	03	04	05	06
uc 123 Mechanical		Elec, Mech, Telephone	0.55	26	14.3	
uc 124 Cert Storage		Low Bay Comm/ Industrial	0.9	220	198	
TOTAL:	246	212.3				See Tables J, K, R for detail

J. POWER ADJUSTMENT: PORTABLE LIGHTING IN OFFICES

K. ADDITIONAL LIGHTING ALLOWANCE: AREA CATEGORY METHOD FOOTNOTES

L. TAILORED METHOD GENERAL LIGHTING POWER ALLOWANCE

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance: http://www.energy.ca.gov/title24/2016standards July 2018

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 CERTIFICATE OF COMPLIANCE

Project Name: Sleepy Hollow Clubhouse Alts - 2016 Strds 200526
 Project Address: 1317 Butterfield Road

M. ADDITIONAL LIGHTING ALLOWANCE: TAILORED SPECIAL FUNCTION AREAS

N. ADDITIONAL LIGHTING ALLOWANCE: TAILORED WALL DISPLAY

O. ADDITIONAL LIGHTING ALLOWANCE: TAILORED FLOOR AND TASK LIGHTING

P. ADDITIONAL LIGHTING ALLOWANCE: TAILORED ORNAMENTAL/SPECIAL EFFECTS

Q. ADDITIONAL LIGHTING ALLOWANCE: TAILORED VERY VALUABLE MERCHANDISE

R. POWER ADJUSTMENT: LIGHTING CONTROL CREDIT (PAF)

S. RATED POWER REDUCTION COMPLIANCE BY SPACE

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance: http://www.energy.ca.gov/title24/2016standards July 2018

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Indoor Lighting
 CERTIFICATE OF COMPLIANCE

Project Name: Sleepy Hollow Clubhouse Alts - 2016 Strds 200526
 Project Address: 1317 Butterfield Road

T. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

YES	NO	Form/Title	Field Inspector
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCH-LTI-01-E - Must be submitted for all buildings	Pass Fail
<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCH-LTI-02-E - Must be submitted for a lighting control system, or for an Energy Management Control System (EMCS), to be recognized for compliance.	Pass Fail
<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCH-LTI-03-E - Must be submitted for a line-voltage track lighting integral current limiter, or for a supplementary overcurrent protection panel used to energize only line-voltage track lighting, to be recognized for compliance.	Pass Fail
<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCH-LTI-04-E - Must be submitted for two interlocked systems serving an auditorium, a convention center, a conference room, a multipurpose room, or a theater to be recognized for compliance.	Pass Fail
<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCH-LTI-05-E - Must be submitted for a Power Adjustment Factor (PAF) to be recognized for compliance.	Pass Fail
<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCH-LTI-06-E - Must be submitted for additional wattage installed in a video conferencing studio to be recognized for compliance.	Pass Fail

U. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

YES	NO	Form/Title	Field Inspector
<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCA-LTI-02-A - Must be submitted for occupancy sensors and automatic time switch controls.	Pass Fail
<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCA-LTI-03-A - Must be submitted for automatic daylight controls.	Pass Fail
<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCA-LTI-04-A - Must be submitted for demand responsive lighting controls.	Pass Fail
<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCA-LTI-05-A - Must be submitted for institutional tuning power adjustment factor (PAF).	Pass Fail

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance: http://www.energy.ca.gov/title24/2016standards July 2018

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Indoor Lighting
 CERTIFICATE OF COMPLIANCE

Project Name: Sleepy Hollow Clubhouse Alts - 2016 Strds 200526
 Project Address: 1317 Butterfield Road

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

Documentation Author Name: Sarah Pernula
 Signature Date: 5/26/20
 Address: 2227 Capricorn Way, Suite 202
 City/State/Zip: Santa Rosa, CA 95407

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Sarah Pernula
 Responsible Designer Signature: [Signature]
 Company: [Blank]
 Address: [Blank]
 City/State/Zip: [Blank]

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance: http://www.energy.ca.gov/title24/2016standards July 2018

**Sleepy Hollow
 Community Center**
 1317 Butterfield Rd
 San Anselmo, CA 94960
 APN - 176-162-07

**Fairchild
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 415.459.8699

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 ARCHITECT / ENGINEER STAMP



ISSUE / REVISION

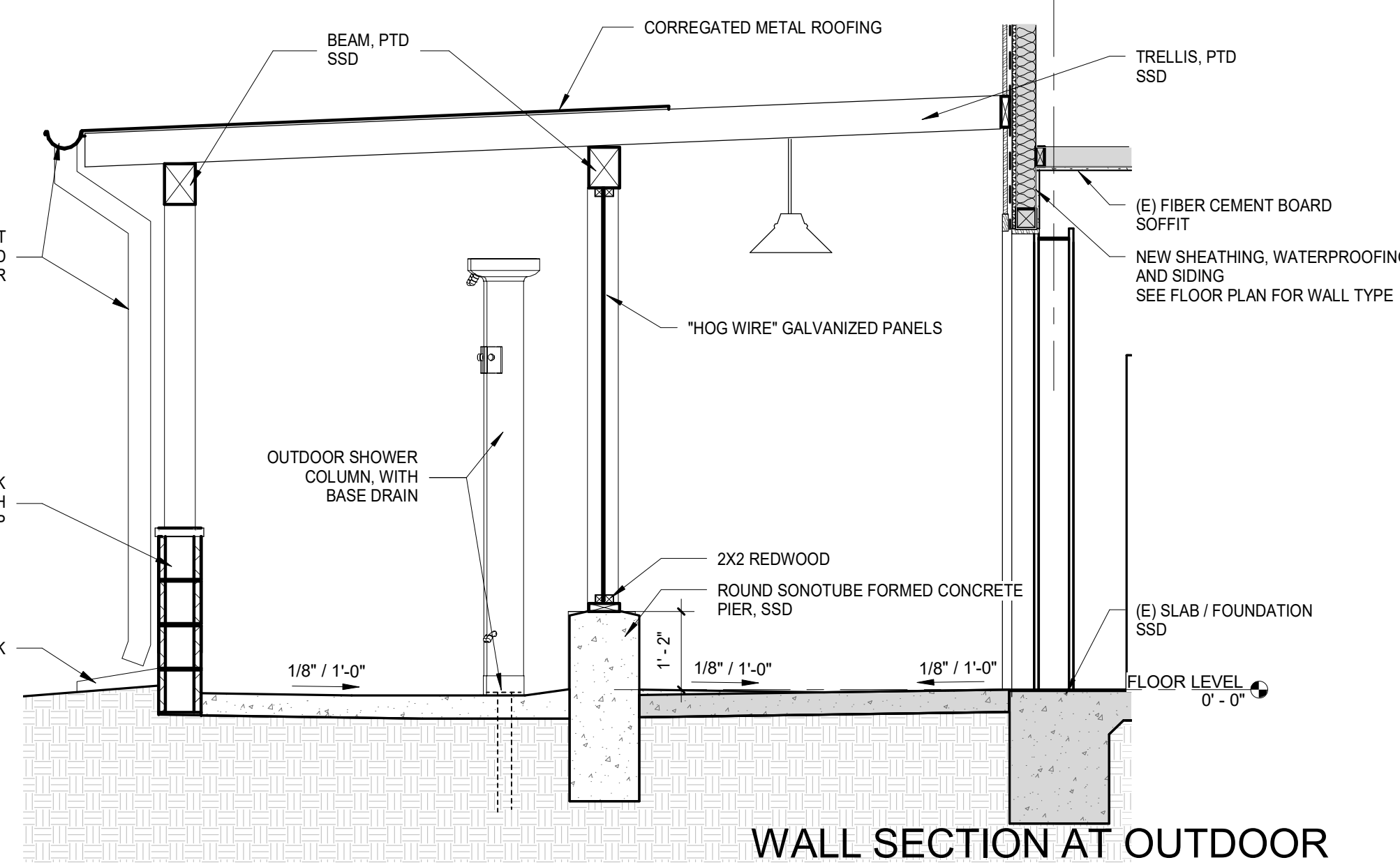
Date	Description	No.
05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
08.03.20	ISSUE FOR CONSTRUCTION	3

PROJECT NO. 19004
 DATE 05.20.2020
 SCALE
 SHEET TITLE

TITLE 24

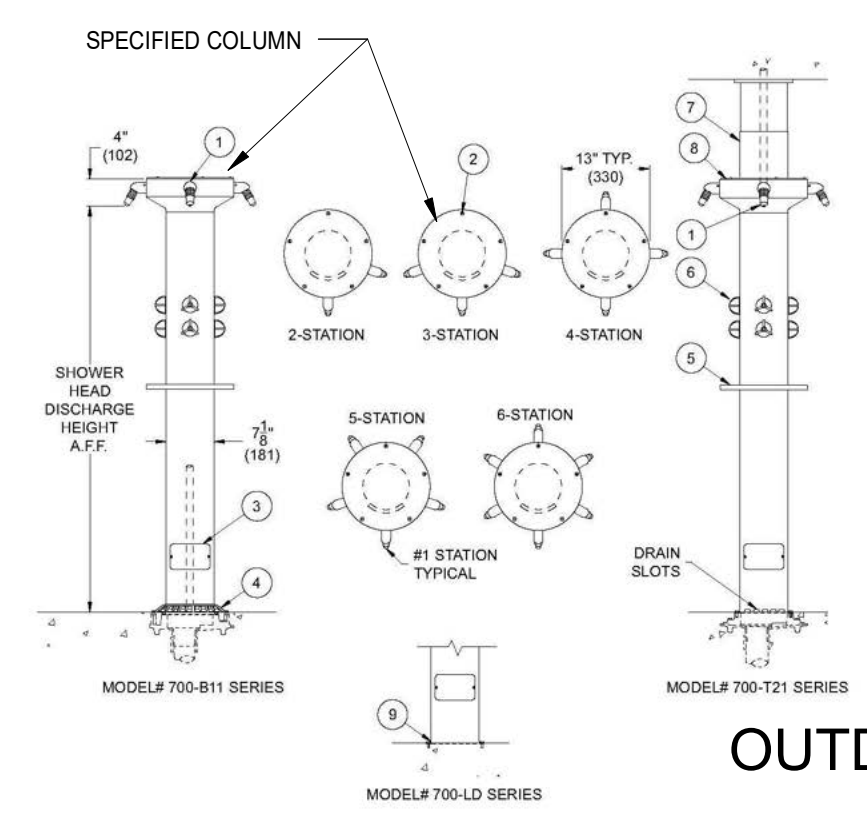
SHEET NO. T1.10

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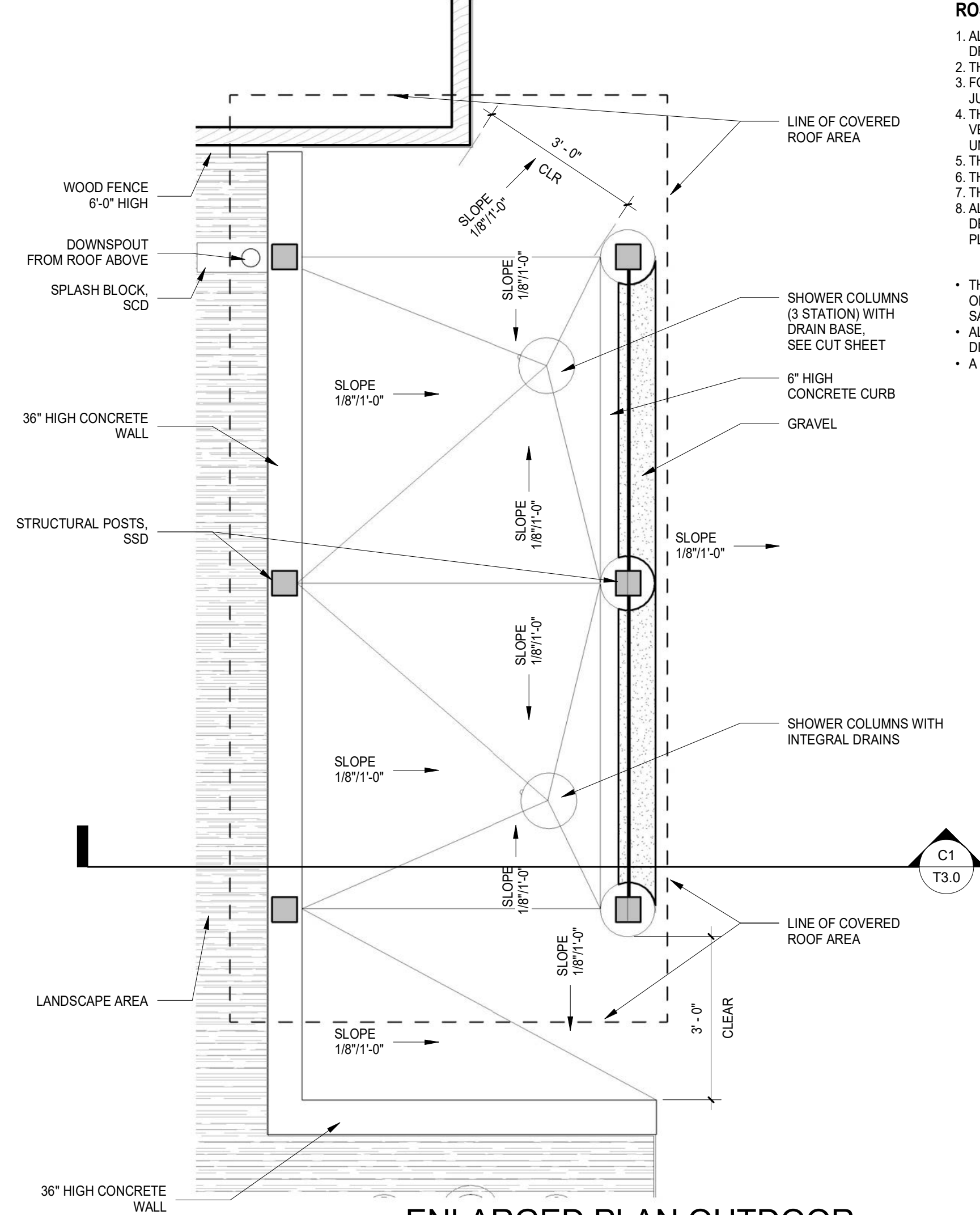
WALL SECTION AT OUTDOOR SHOWER RVSD
SCALE: 1/2" = 1'-0" **C1**

Shower-Ware®: 700 Capital Column Showers Two to Six Station Models



OUTDOOR SHOWER CUT SHEET
SCALE: 12" = 1'-0" **B3**

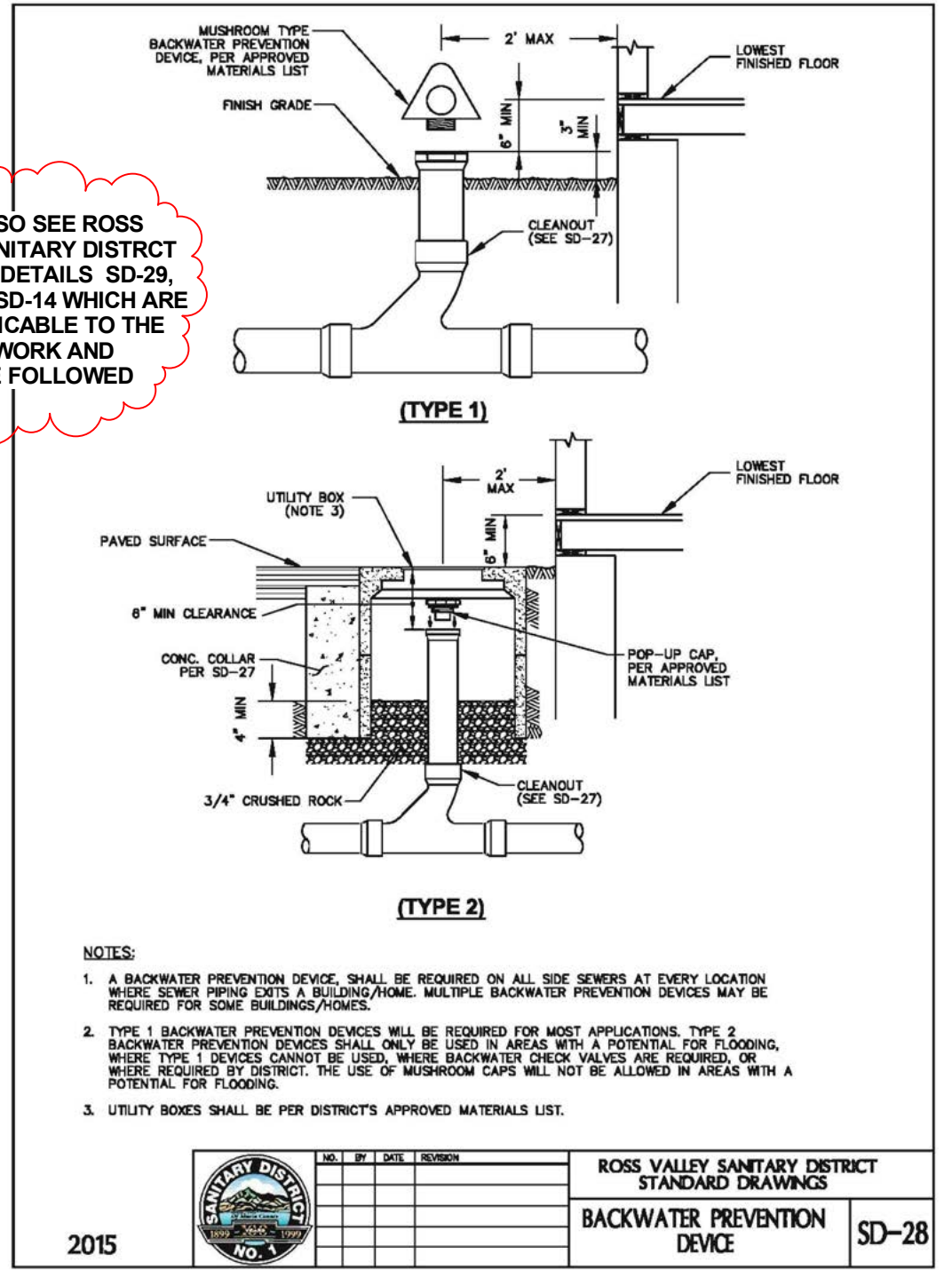
- NOTES:
- #1 Station Showerhead
 - Tamper Resistant Fasteners
 - Access Cover
 - Optional #11 Drain Base with Dome Grate shown
 - Circular Soap Tray (Not Available with Dome Privacy Compartments)
 - Control Valve
 - Optional -SC Supply Cover
 - Sprayhead Lid
 - Optional 4-D Less Drain Slots



ENLARGED PLAN OUTDOOR SHOWERS
SCALE: 1/2" = 1'-0" **B2**

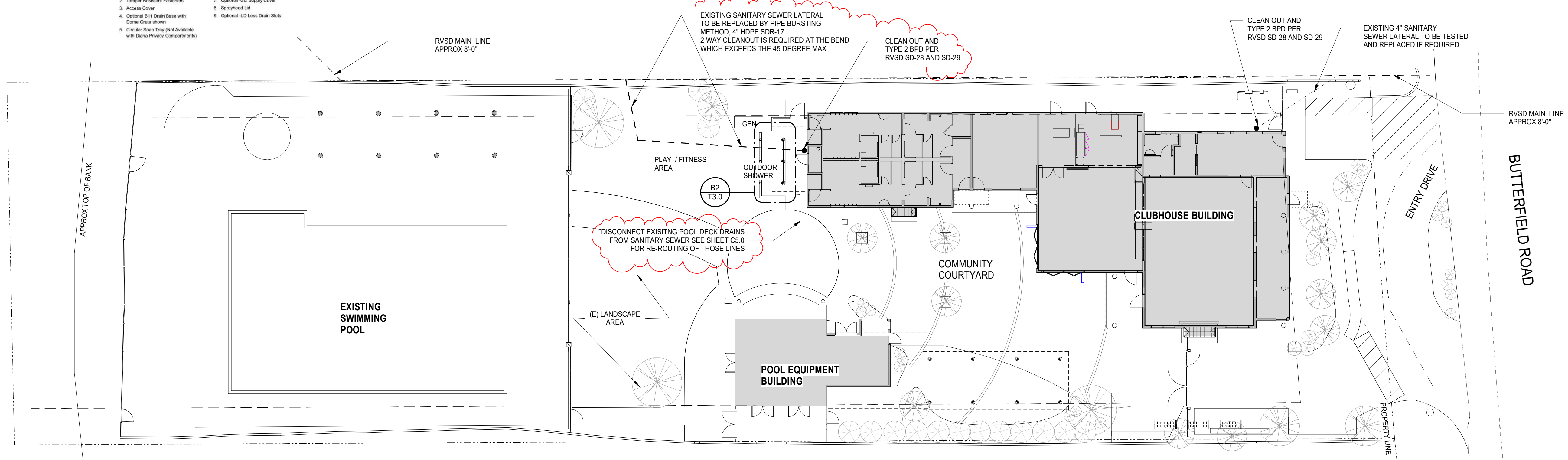
- ROSS VALLEY SANITARY DISTRICT STANDARD NOTES**
- ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ROSS VALLEY SANITARY DISTRICT STANDARD SPECIFICATIONS AND DRAWINGS
 - THE CONTRACTOR SHALL NOTIFY THE DISTRICT 48 HOURS PRIOR TO STARTING SEWER WORK
 - FOR ANY WORK IN A PUBLIC STREET, THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE AGENCY HAVING JURISDICTION
 - THE LOCATIONS OF UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND DEPTHS WITH APPROPRIATE AGENCIES OR BY POT-HOLING. THE CONTRACTOR SHALL CALL USA UNDERGROUND SERVICE ALERT AT LEAST 72 HOURS PRIOR TO COMMENCING WORK
 - THE CONTRACTOR SHALL POT-HOLE ALL UNDERGROUND UTILITIES AND SEWERS PRIOR TO ANY TRENCHING OPERATION
 - THE CONTRACTOR SHALL NOTIFY THE DISTRICT IMMEDIATELY OF ANY CONFLICT BETWEEN SEWERS AND UNDERGROUND FACILITIES.
 - THE CONTRACTOR SHALL SHORE ALL EXCAVATIONS IN ACCORDANCE WITH APPLICABLE SAFETY ORDERS.
 - ALL SEWER LATERAL SHALL BE A MINIMUM 4 INCHES INSIDE DIAMETER AND SHALL HAVE A MINIMUM SLOPE OF 2.0% AND MINIMUM DEPTH OF COVER AT THE PROPERTY LINE OF 3'-0" (MEASURED FROM THE TOP OF THE CURB), UNLESS OTHERWISE NOTED ON THESE PLANS.
- THE SEWER LATERALS ON THIS PROJECT MUST BE TESTED FROM THE CONNECTION TO THE EXISTING SEWER MAIN TO THE OUTER FACE OF THE BUILDING, IN ACCORDANCE WITH RVSD ORDINANCE 100 AND SECTION 02735, SANITARY SYSTEM TESTING OF THE ROSS VALLEY SANITARY DISTRICT STANDARDS
- ALL REPAIRS OR REPLACEMENTS SHALL BE MADE IN ORDER TO PASS SAID TEST AND MEET THE REQUIREMENTS OF ORDINANCE 100 AND DISTRICT STANDARDS
- A CERTIFICATE OF COMPLIANCE SHALL BE OBTAINED FROM RVSD

NOTE: PLEASE ALSO SEE ROSS VALLEY SANITARY DISTRICT STANDARD DETAILS SD-28, SD-27 AND SD-14 WHICH ARE ALSO APPLICABLE TO THE SCOPE OF WORK AND SHOULD BE FOLLOWED



RVSD STANDARD CLEAN OUT DETAIL
SCALE: 12" = 1'-0" **B1**

- NOTES:
- A BACKWATER PREVENTION DEVICE SHALL BE REQUIRED ON ALL SEWER LATERALS AT EVERY LOCATION WHERE SEWER PIPING ENTERS A BUILDING/PHONE. MULTIPLE BACKWATER PREVENTION DEVICES MAY BE REQUIRED FOR SOME BUILDINGS/PHONES
 - TYPE 1 BACKWATER PREVENTION DEVICES WILL BE REQUIRED FOR MOST APPLICATIONS. TYPE 2 BACKWATER PREVENTION DEVICES SHALL BE USED IN AREAS WITH A POTENTIAL FOR FLOODING. WHERE TYPE 1 DEVICES CANNOT BE USED, WHERE BACKWATER CHECK VALVES ARE REQUIRED, OR WHERE REQUIRED BY DISTRICT, THE USE OF MISROOM CAPS WILL NOT BE ALLOWED IN AREAS WITH A POTENTIAL FOR FLOODING.
 - UTILITY BOXES SHALL BE PER DISTRICT'S APPROVED MATERIALS LIST.



RVSD REQUIREMENTS
SCALE: 1/16" = 1'-0" **A1**

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San Anselmo, CA 94960
APN-176-162-07

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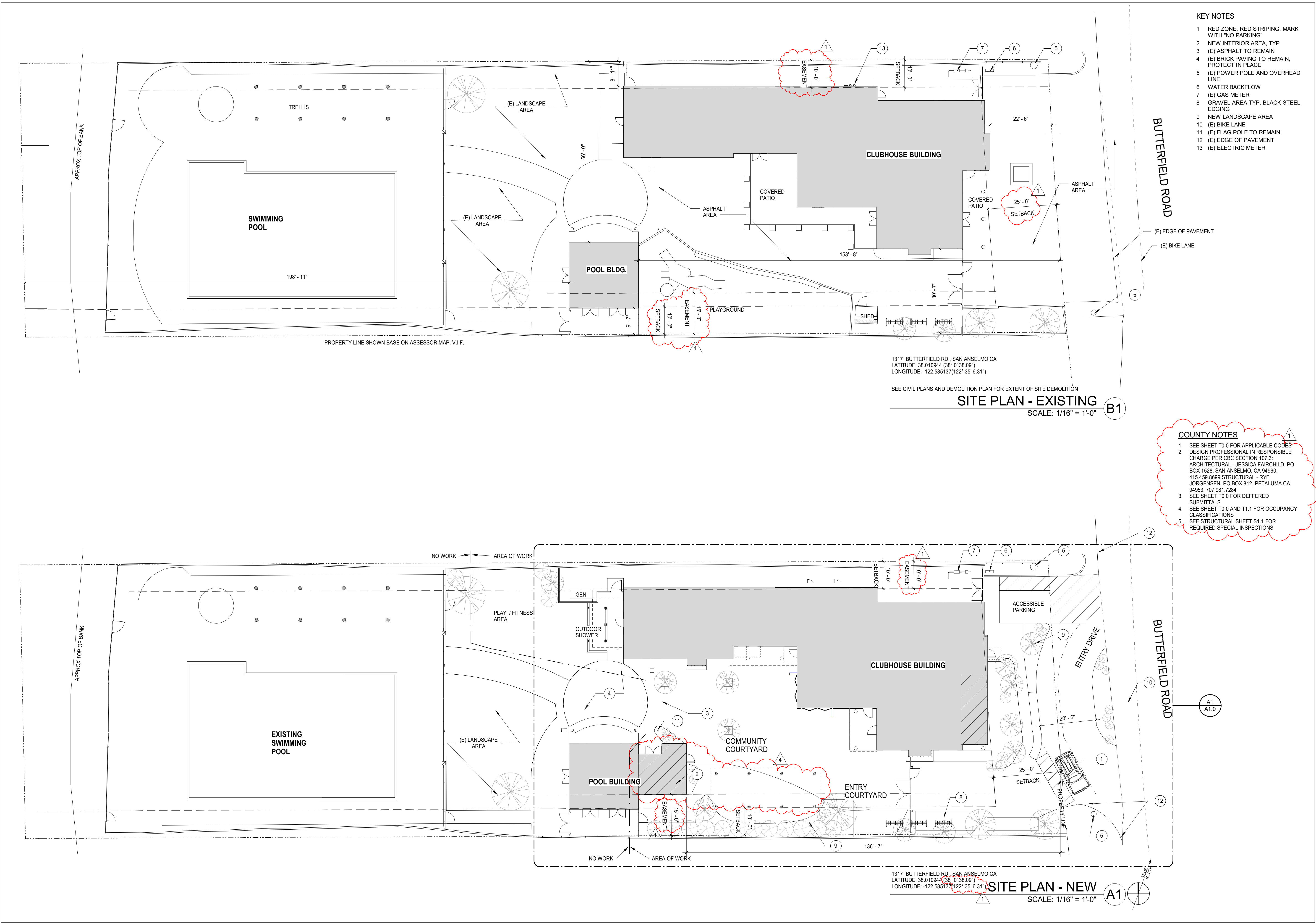
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05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
08.03.20	ISSUE FOR CONSTRUCTION	3

PROJECT NO. 19004
DATE 05/07/20
SCALE As indicated
SHEET TITLE

RVSD REQUIREMENTS
SHEET NO. **T3.0**



- KEY NOTES**
- 1 RED ZONE, RED STRIPING, MARK WITH "NO PARKING"
 - 2 NEW INTERIOR AREA, TYP
 - 3 (E) ASPHALT TO REMAIN
 - 4 (E) BRICK PAVING TO REMAIN, PROTECT IN PLACE
 - 5 (E) POWER POLE AND OVERHEAD LINE
 - 6 WATER BACKFLOW
 - 7 (E) GAS METER
 - 8 GRAVEL AREA TYP, BLACK STEEL EDGING
 - 9 NEW LANDSCAPE AREA
 - 10 (E) BIKE LANE
 - 11 (E) FLAG POLE TO REMAIN
 - 12 (E) EDGE OF PAVEMENT
 - 13 (E) ELECTRIC METER

1317 BUTTERFIELD RD., SAN ANSELMO CA
 LATITUDE: 38.010944 (38° 0' 38.09")
 LONGITUDE: -122.585137 (122° 35' 6.31")

SEE CIVIL PLANS AND DEMOLITION PLAN FOR EXTENT OF SITE DEMOLITION

SITE PLAN - EXISTING B1
 SCALE: 1/16" = 1'-0"

- COUNTY NOTES**
1. SEE SHEET T0.0 FOR APPLICABLE CODES
 2. DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE PER CBC SECTION 107.3: ARCHITECTURAL - JESSICA FAIRCHILD, PO BOX 1528, SAN ANSELMO, CA 94960, 415.459.8699 STRUCTURAL - RYE JORGENSEN, PO BOX 812, PETALUMA CA 94953, 707.981.7284
 3. SEE SHEET T0.0 FOR DEFERRED SUBMITTALS
 4. SEE SHEET T0.0 AND T1.1 FOR OCCUPANCY CLASSIFICATIONS
 5. SEE STRUCTURAL SHEET S1.1 FOR REQUIRED SPECIAL INSPECTIONS

1317 BUTTERFIELD RD., SAN ANSELMO CA
 LATITUDE: 38.010944 (38° 0' 38.09")
 LONGITUDE: -122.585137 (122° 35' 6.31")

SITE PLAN - NEW A1
 SCALE: 1/16" = 1'-0"

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DATE	DESCRIPTION	NO.
12.16.19	ISSUE FOR PERMIT	
12.30.19	ISSUE FOR PRICING	
03.25.20	SCOPE REVISIONS	
05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
06.26.20	DEMOLITION PERMIT	
08.03.20	ISSUE FOR CONSTRUCTION	3
09.15.20	COORDINATION / REVISION	4

PROJECT NO. 19004
 DATE 12.16.2019
 SCALE As indicated
 SHEET TITLE

SITE PLANS
 SHEET NO. A0.0

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SLEEPY HOLLOW
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CENTER

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APN: 176-162-007



ENGINEERS / SURVEYORS / PLANNERS

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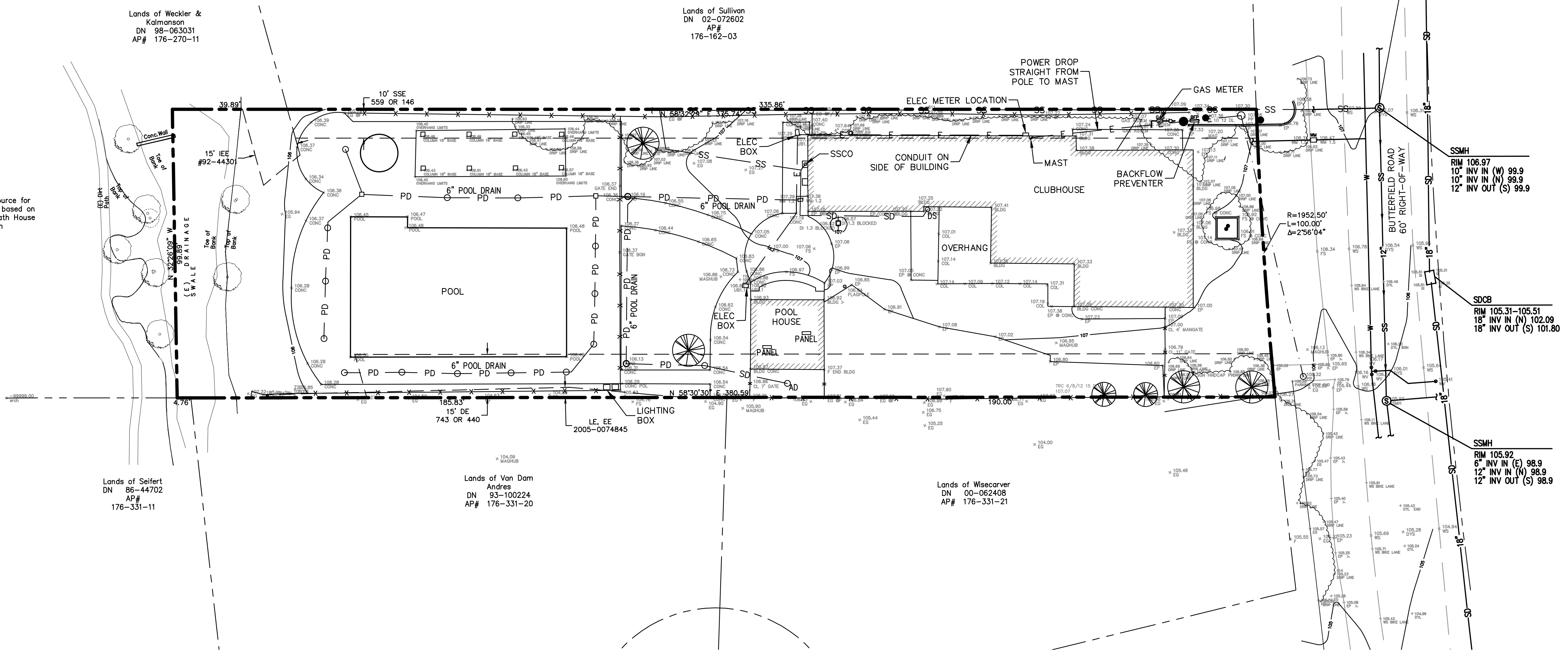
Revisions:

No.	Date	Revision
1	6-26-2020	Plan Check Corrections/Revision 1



Sheet Description:

Scale	AS SHOWN
Drawn	AD
Checked	KP, ESS
Date	12-16-2019
Project#	20135091

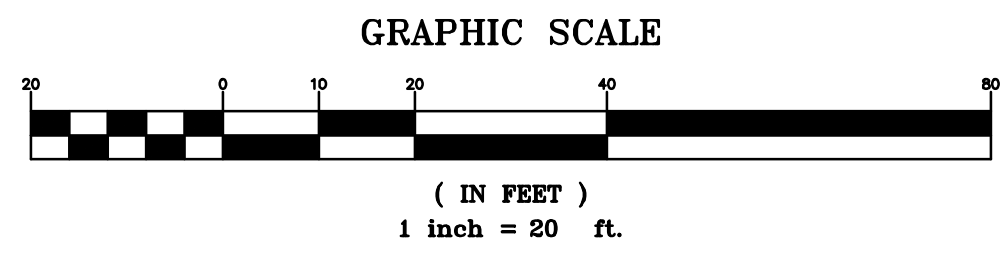
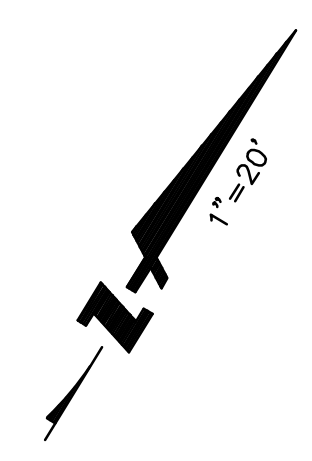


LEGEND:

	PROPERTY LINE
	BUILDING CONTOUR
	ELECTRICAL LINE
	EASEMENT LINE
	FENCE LINE
	OVERHEAD WIRE
	GRADE BREAK
	POOL DRAIN LINE
	SANITARY SEWER LINE
	STORM DRAIN
	SUBDRAIN
	INLET
	TREE

ABBREVIATIONS:

AD	AREA DRAIN
AP#	ASSESSOR'S PARCEL NUMBER
BFP	BACK FLOW PREVENTER
BLDG	BUILDING
COL	COLUMN
CONC	CONCRETE
DI	DRAIN INLET
DL	DRIPLINE
DS	DOWNSPOUT
DYL	DOUBLE YELLOW LINE
DYS	DOUBLE YELLOW STRIPE
ELEC	ELECTRICAL
EP	EDGE OF PAVEMENT
EX	EXISTING
F	FENCE
FG	FINISH GRADE
FL	FLOWLINE
FS	FINISH SURFACE
INV	INVERT
LAT	LATERAL
MA	MATCH EXISTING
PD	POOL DRAIN
PP	POWER POLE
SD	STORM DRAIN
SDCB	STORM DRAIN CATCH BASIN
SDDI	STORM DRAIN DRAINAGE INLET
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
W	WATER
WM	WATER METER
WS	WHITE STRIPE
WV	WATER VALVE



Topographic source for creek bank are based on plans for old Bath House Addition

Lands of Weckler & Kalmanson
DN 98-063031
AP# 176-270-11

Lands of Sullivan
DN 02-072602
AP# 176-162-03

Lands of Seifert
DN 86-44702
AP# 176-331-11

Lands of Van Dam
Andres
DN 93-100224
AP# 176-331-20

Lands of Wisecarver
DN 00-062408
AP# 176-331-21

C1.0

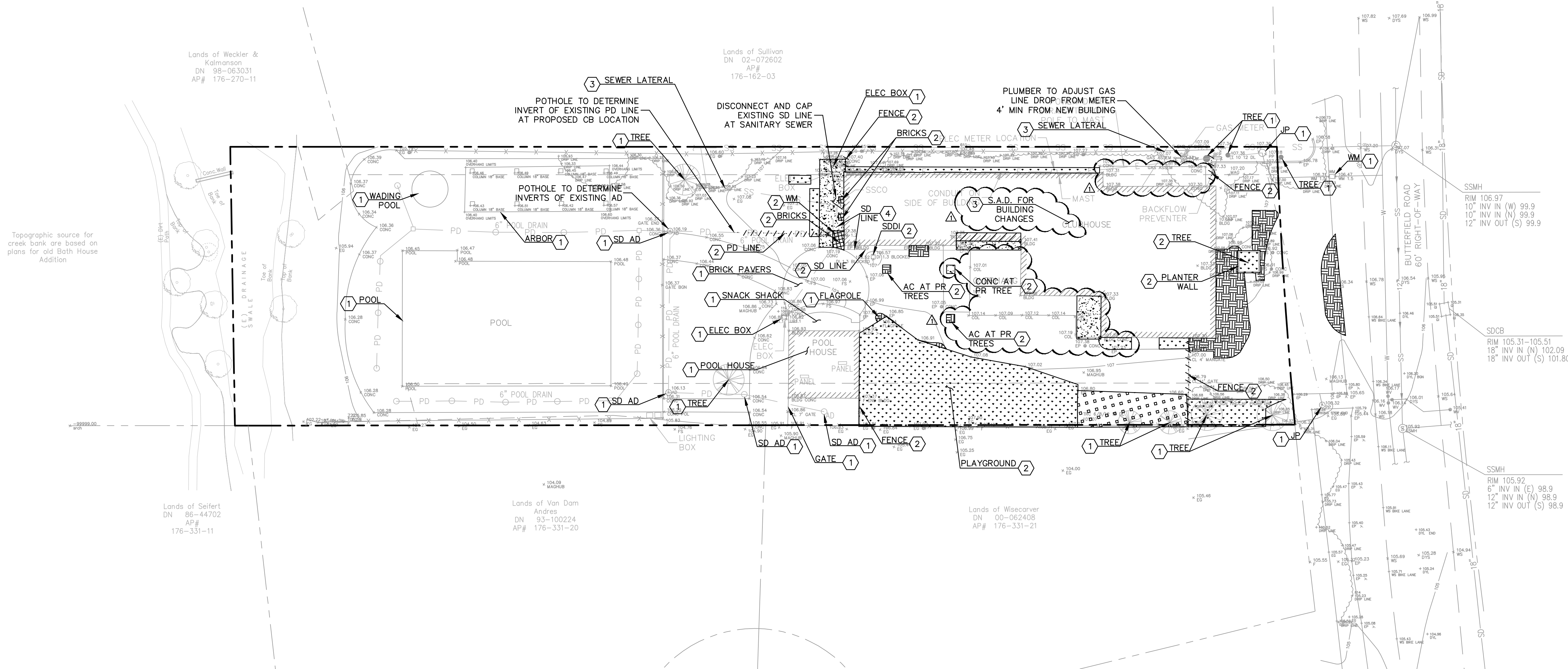
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NOTES:

- CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK PRIOR TO DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR SHALL RELOCATE ANY "LIVE" ELECTRIC, WATER, OR TELEPHONE/DATA LINES PRIOR TO DEMOLITION ACTIVITIES.
- ANY SANITARY OR STORM SEWERS FOUND TO BE CONVEYING FLOWS THROUGH THE SITE SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CIVIL ENGINEER PRIOR TO DEMOLITION.
- CONTRACTOR SHALL PROTECT ALL ELECTRICAL BOXES WITHIN LIMIT OF WORK DEEMED TO BE ACTIVE BY CONTRACTOR'S ELECTRICIAN UNTIL SERVICES CAN BE RELOCATED.
- BEFORE DEMOLITION AND CONSTRUCTION COMMENCES CONTRACTOR TO VISIT SITE AND VERIFY EXISTING CONDITIONS.
- THE CONTRACTOR SHALL RESTORE ALL EXISTING WALLS, FENCES, SERVICES, UTILITIES, OR OTHER FEATURES OF WHATEVER NATURE WHICH ARE DAMAGED, DUE TO CONTRACTOR'S WORK, TO THEIR PREVIOUS CONDITION UNLESS OTHERWISE NOTED.

LEGEND:

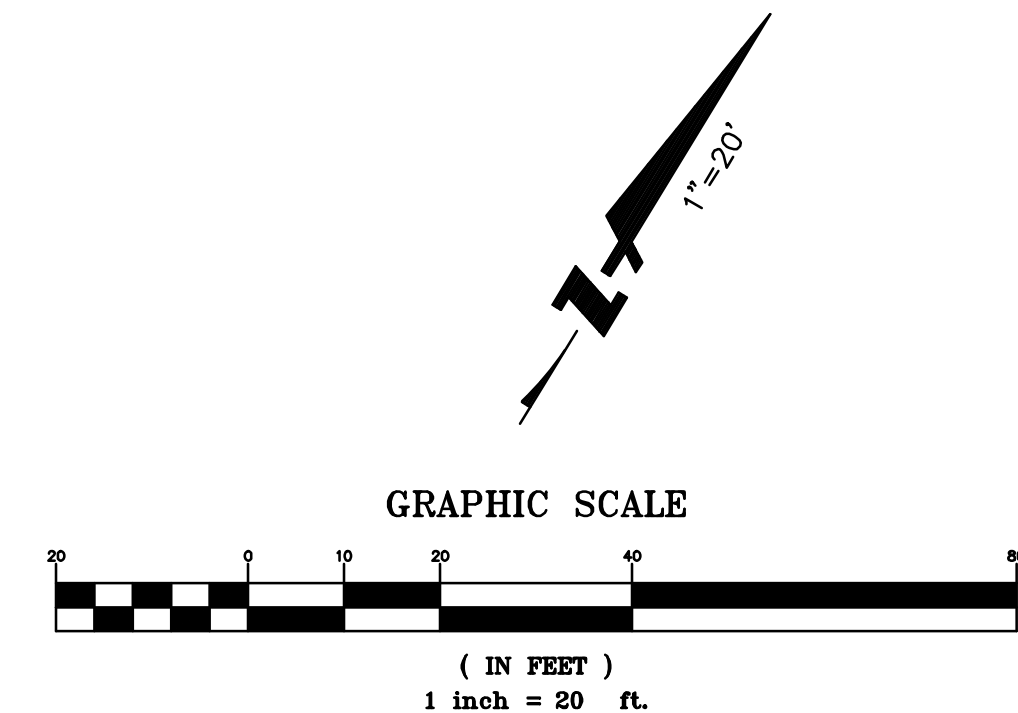
	PROPERTY LINE
	REMOVE (E) FENCE, GATE, OR SD LINE
	REMOVE PORTION OF (E) BUILDING AND FOUNDATION. EXCAVATE TO SUBGRADE.
	REMOVE (E) ASPHALT AND EXCAVATE TO SUBGRADE
	REMOVE (E) CONCRETE PATHWAYS AND CONCRETE PADS. EXCAVATE TO SUBGRADE.
	CLEAR AND GRUB
	REMOVE (E) GRAVEL
	REMOVE (E) BRICKS

KEYNOTES:

- ① TO BE PROTECTED
- ② TO BE REMOVED
- ③ TO BE REPLACED
- ④ TO BE ABANDONED

ABBREVIATIONS:

AC	ASPHALT CONCRETE
AD	AREA DRAIN
CONC	CONCRETE
ELEC	ELECTRICAL
JP	JOINT POLE
LOW	LIMIT OF WORK
PD	POOL DRAIN
PR	PROPOSED
S.A.D.	SEE ARCHITECTURE DRAWINGS
SD	STORM DRAIN
SDDI	STORM DRAIN DRAINAGE INLET
WM	WATER METER



Revisions:

No.	Date	Revision
△ 6-26-2020		Plan Check Corrections/Revision 1



Sheet Description:

DEMOLITION
PLAN

Scale	AS SHOWN
Drawn	AD
Checked	KP, ESS
Date	12-16-2019
Project#	20135091

C2.0

SLEEPY HOLLOW
COMMUNITY
CENTER

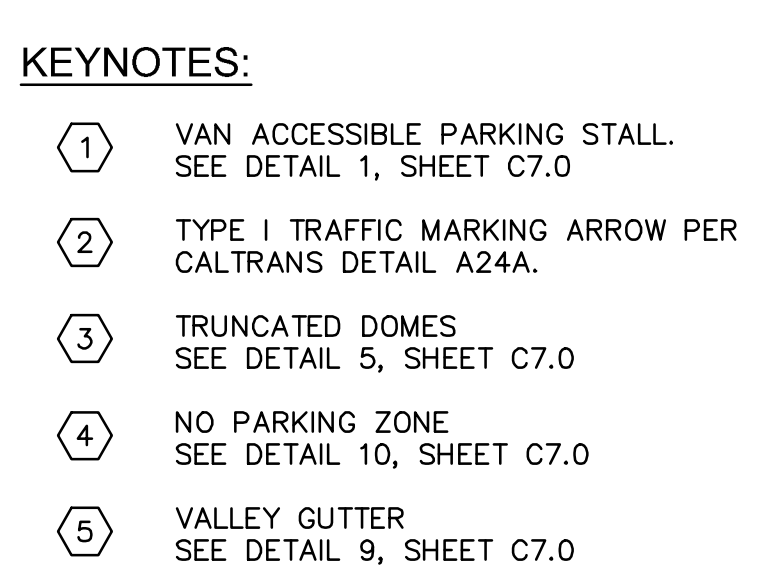
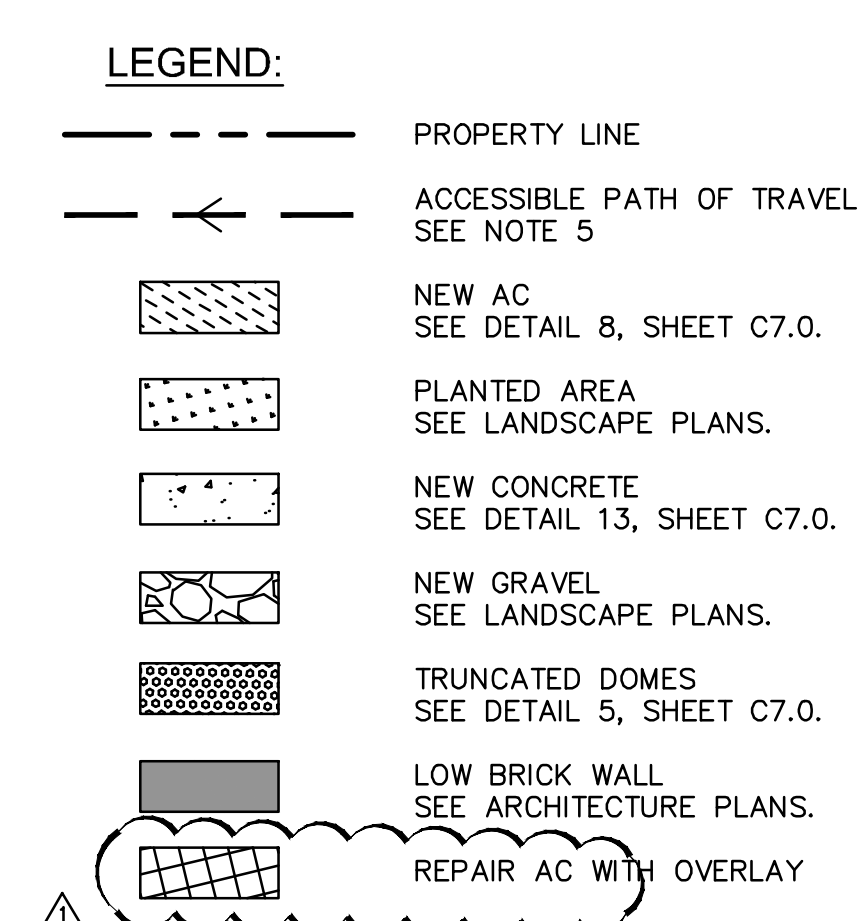
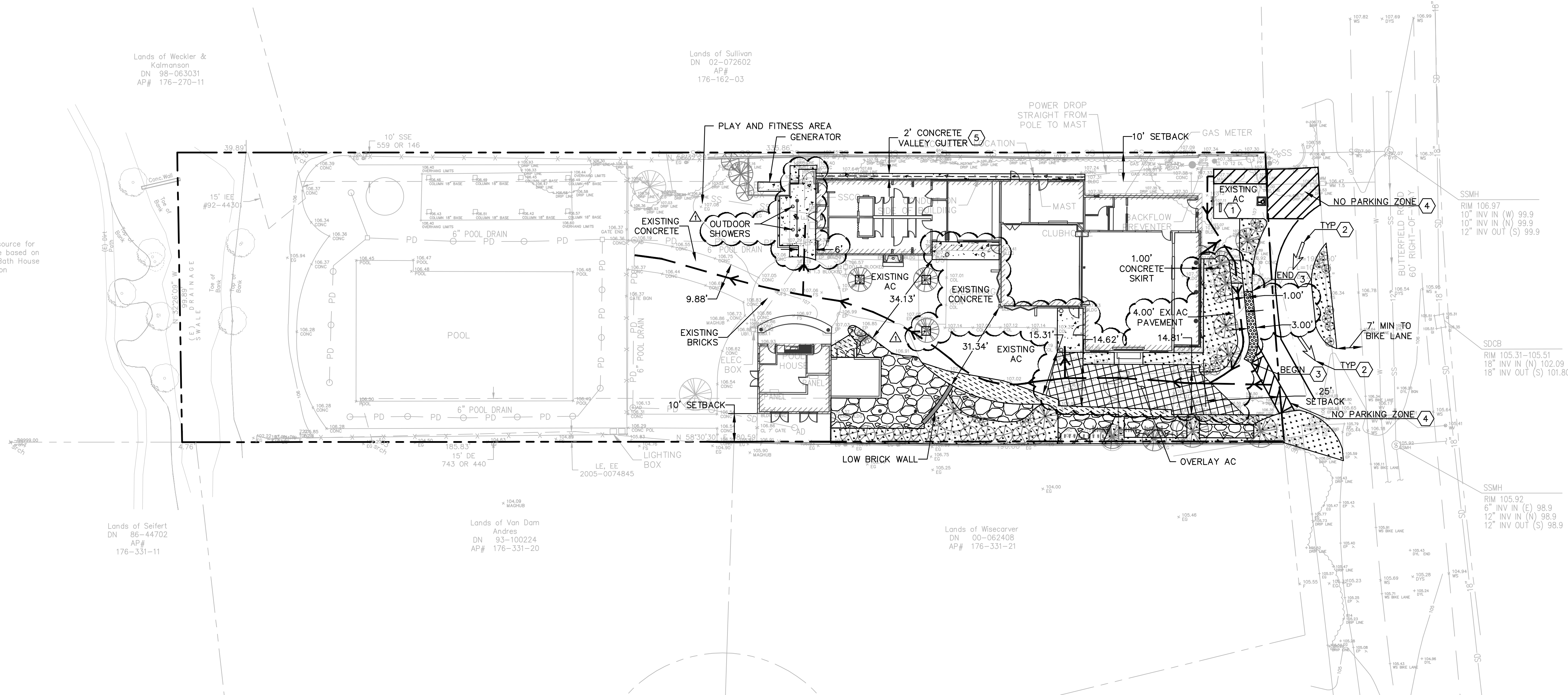
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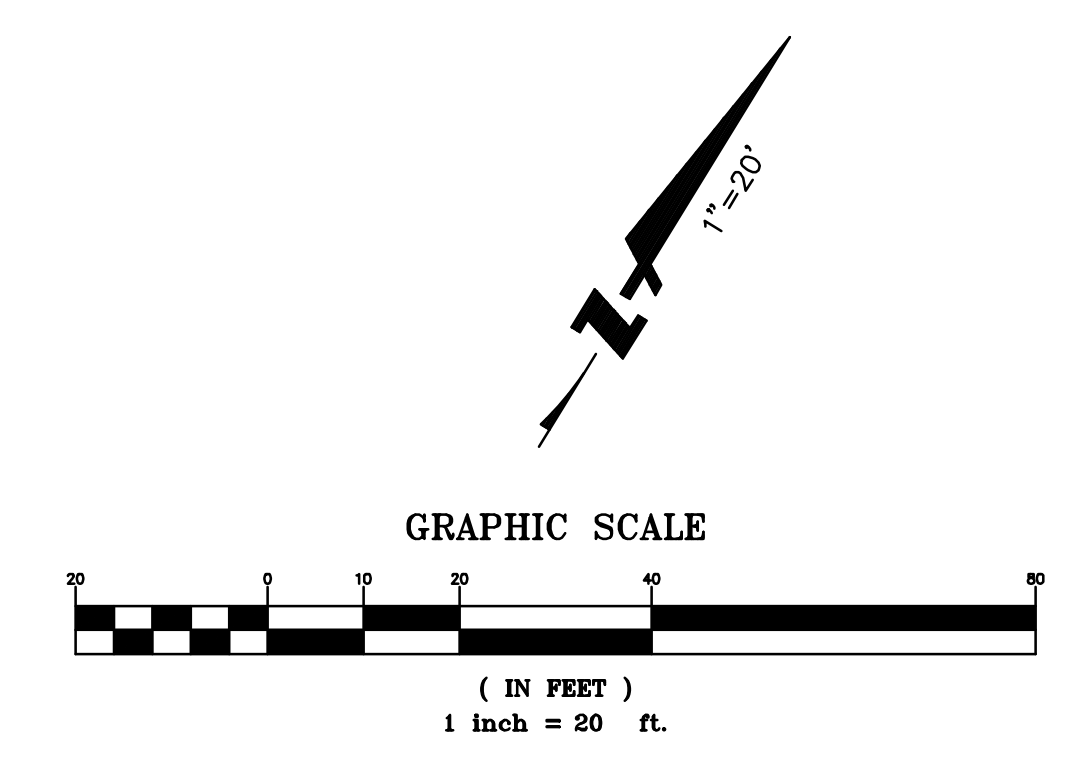
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Topographic source for
creek bank are based on
plans for old Bath House
Addition



- NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS AND SIDEWALKS, GRADING, ETC. AND TO AVOID ABRUPT OR APPARENT CHANGES.
 2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
 3. SEE LANDSCAPE PLANS FOR PARK, LAWN AREAS, CHILDREN'S PLAY AREA, PLANTER, AND OTHER AMENITY DETAILS.
 4. ALL WORK WITHIN PUBLIC RIGHT OF WAY SHALL CONFORM TO COUNTY OF MARIN PLANS AND SPECIFICATIONS.
 5. ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/4" IF BEVELED AT 1:2 MAX SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX, AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%, UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 3 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
 6. DESIGN ENGINEER/ARCHITECT SHALL VERIFY TO THE COUNTY IN WRITING THAT ALL ACCESSIBLE PARKING AND PATH OF TRAVEL COMPLIES WITH ALL STATE ACCESSIBILITY REQUIREMENTS.
 7. CONTRACTOR SHALL VERIFY TO THE COUNTY IN WRITING THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT, AND PATH OF TRAVEL COMPLIES WITH CALIFORNIA BUILDING CODE 1133B.



Revisions:

No.	Date	Revision
1	6-26-2020	Plan Check Corrections/Revision 1



Sheet Description:

**HORIZONTAL
PLAN**

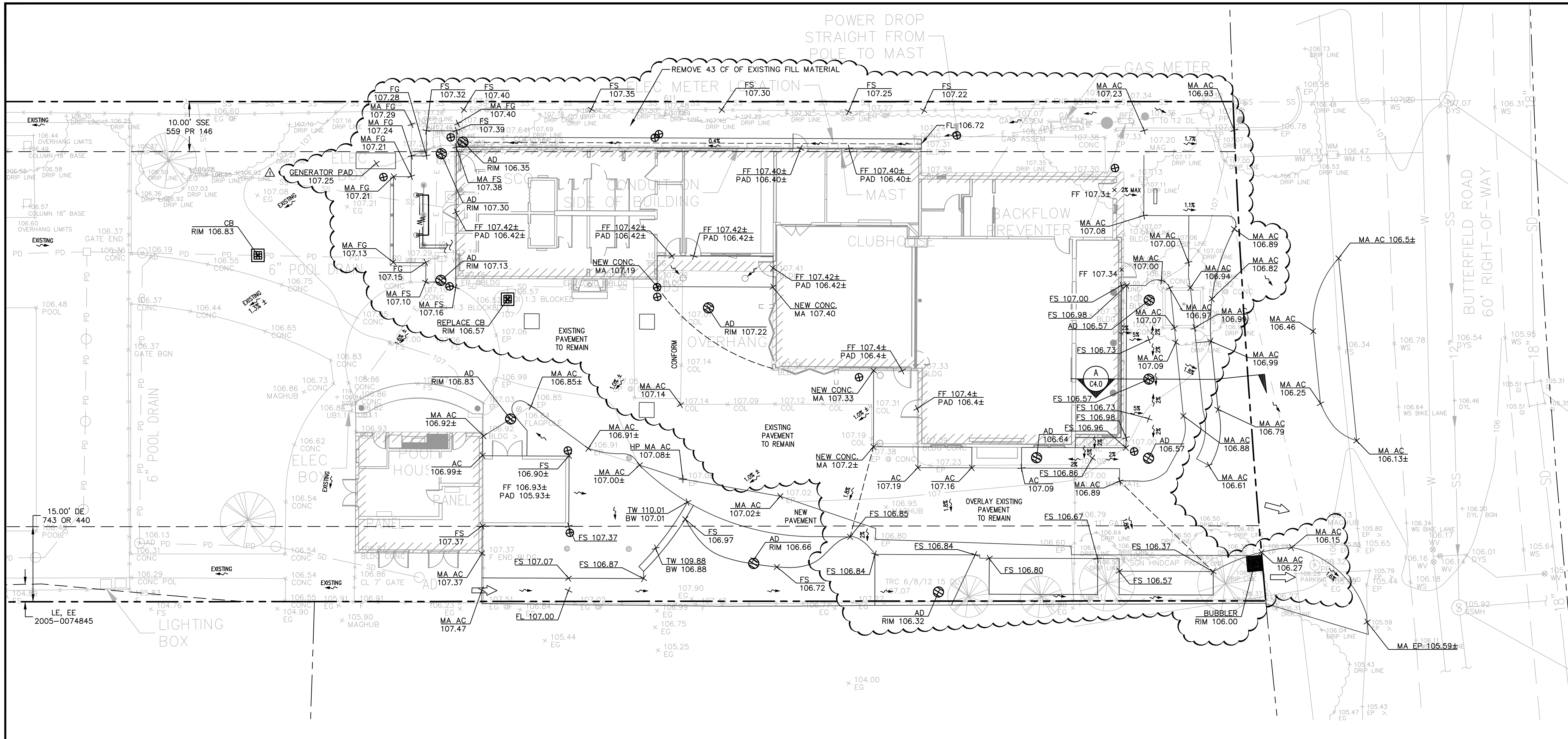
Scale	AS SHOWN
Drawn	AD
Checked	KP, ESS
Date	12-16-2019
Project#	20135001

C3.0

SLEEPY HOLLOW
COMMUNITY
CENTER

1317 BUTTERFIELD RD.
SAN ANSELMO, CA 94960
APN: 176-162-007

BKF
ENGINEERS / SURVEYORS / PLANNERS
1646 N. CALIFORNIA BLVD.
SUITE 400
WALNUT CREEK, CA 94596
(925) 940-2200
(925) 940-2299 (FAX)



NOTES:

- TOTAL AREA DISTURBED = 6,387 SF
- FLOOD ZONE "X": AREAS DETERMINED BY FEMA TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THIS PLAN ASSUMES FLUSH ENTRANCES AND A SLAB FOUNDATION.
- FOR WALKWAYS AND ALL ACCESSIBLE AREAS CROSS SLOPES SHALL NOT EXCEED 2% GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS AND SIDEWALKS, GRADING, ETC. AND TO AVOID ABRUPT OR APPARENT CHANGES.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- IF, DURING CONSTRUCTION, ARCHAEOLOGICAL OR NATIVE AMERICAN REMAINS OR ARTIFACTS ARE ENCOUNTERED, THE CONTRACTOR SHALL HALT CONSTRUCTION IN THE VICINITY AND SHALL NOTIFY THE PROJECT OWNER.
- DESIGN ENGINEER/ARCHITECT SHALL CERTIFY TO THE COUNTY IN WRITING UPON THE COMPLETION OF WORK THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTION.
- LANDSCAPING ADJACENT TO THE BUILDING SHALL BE SLOPED AT 5% MIN. AWAY FROM THE BUILDING FOR AT LEAST 10'.
- GRADES SHOWN ARE AT THE SURFACE. PERMEABLE PAVEMENT SUBGRADE SHALL BE LEVEL TO NO MORE THAN 2% AND SLOPE AWAY FROM BUILDINGS TOWARD THE PERFORATED SUBDRAIN.

LEGEND:

- PROPERTY LINE
- GRADE BREAK LINE
- EASEMENT LINE
- ~> FLOW DIRECTION
- ➔ OVERLAND RELEASE

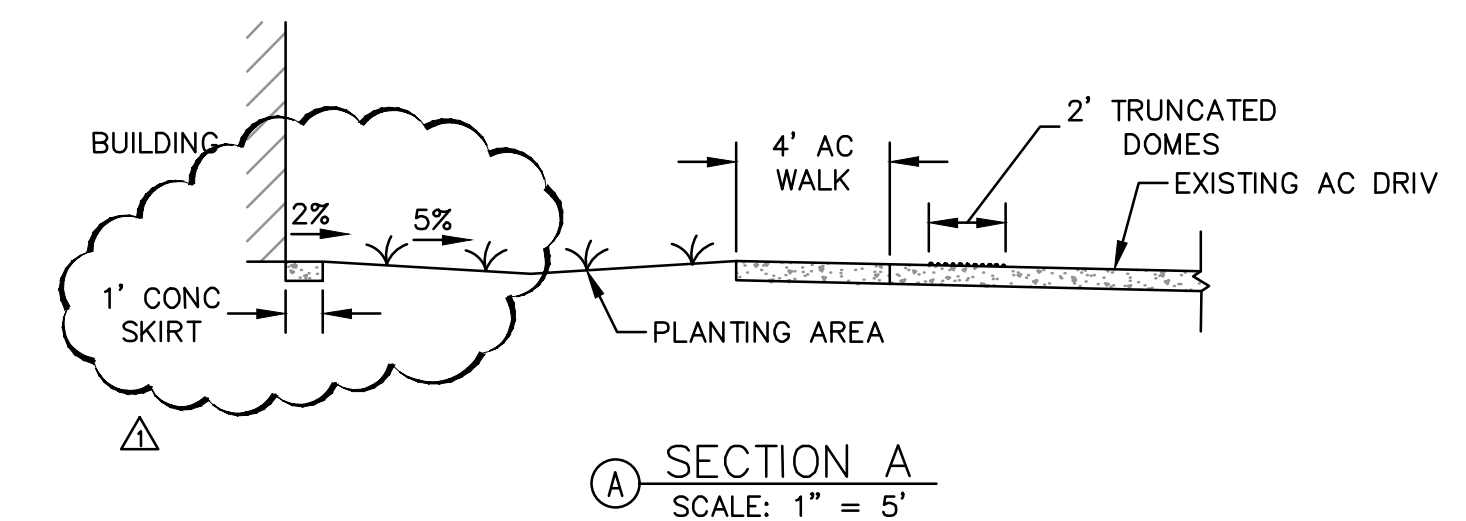
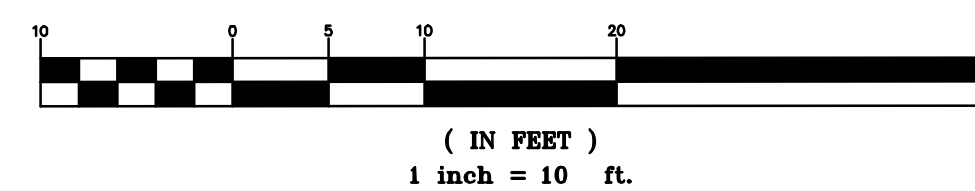
ABBREVIATIONS:

- AC ASPHALT CONCRETE
- BW BOTTOM OF WALL
- CONC CONCRETE
- EP EDGE OF PAVEMENT
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOW LINE
- FS FINISH SURFACE
- MA MATCH
- TB TOP OF BERM
- TW TOP OF WALL
- PAD PAD ELEVATION

GRADING QUANTITIES:

TOTAL	CUT 13 CY	FILL 8 CY
EXPORT	5 CY	

GRAPHIC SCALE



Revisions:

No.	Date	Revision
1	6-26-2020	Plan Check Corrections/Revision 1



Sheet Description:

GRADING PLAN

Scale	AS SHOWN
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Checked	KP, ESS
Date	12-16-2019
Project#	20135091

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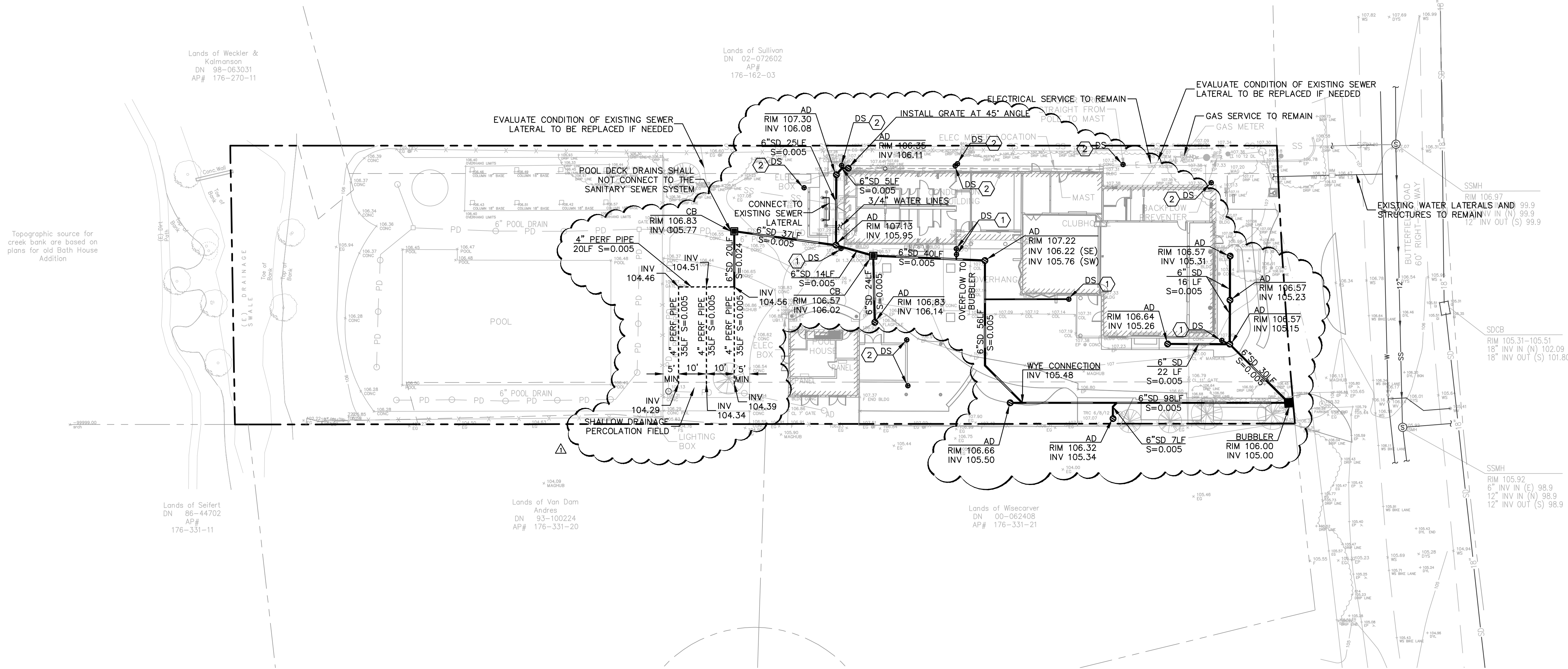
SLEEPY HOLLOW
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NOTES:

- CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DEMOLITION AND CONSTRUCTION.
- ALL EXISTING UTILITY VAULTS AND BOXES TO BE PROTECTED SHALL BE ADJUSTED TO FINISHED GRADE.
- CONTRACTOR TO CONTACT USA AT (800) 247-2600 AT LEAST 48 HOURS PRIOR TO ANY UTILITY REMOVAL OR EXCAVATION.
- UPON COMPLETION, CONTRACTOR/OWNER SHALL REQUEST THE DESIGN ENGINEER/ARCHITECT TO CERTIFY TO THE COUNTY IN WRITING UPON THE COMPLETION OF WORK THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTION.
- RAINWATER LEADERS SHALL BE PICKED UP BY HARD PIPES WHICH WILL DRAIN TOWARDS THE SHALLOW DRAINAGE PERCOLATION FIELD.
- ALL SEWER LATERALS ON SITE WILL NEED A SMOKE TEST AND REPLACED, IF NECESSARY.
- SERVICE PROVIDERS
 WATER: MARIN MUNICIPAL WATER DISTRICT
 SEWER: ROSS VALLEY SANITARY DISTRICT
 STORM: COUNTY
 ELECTRIC/GAS: PG+E
 TEL: AT&T
 CATV: COMCAST
 FIRE DISTRICT: ROSS VALLEY FIRE DEPARTMENT
 GARBAGE: MARIN SANITARY SERVICE

KEYNOTES:

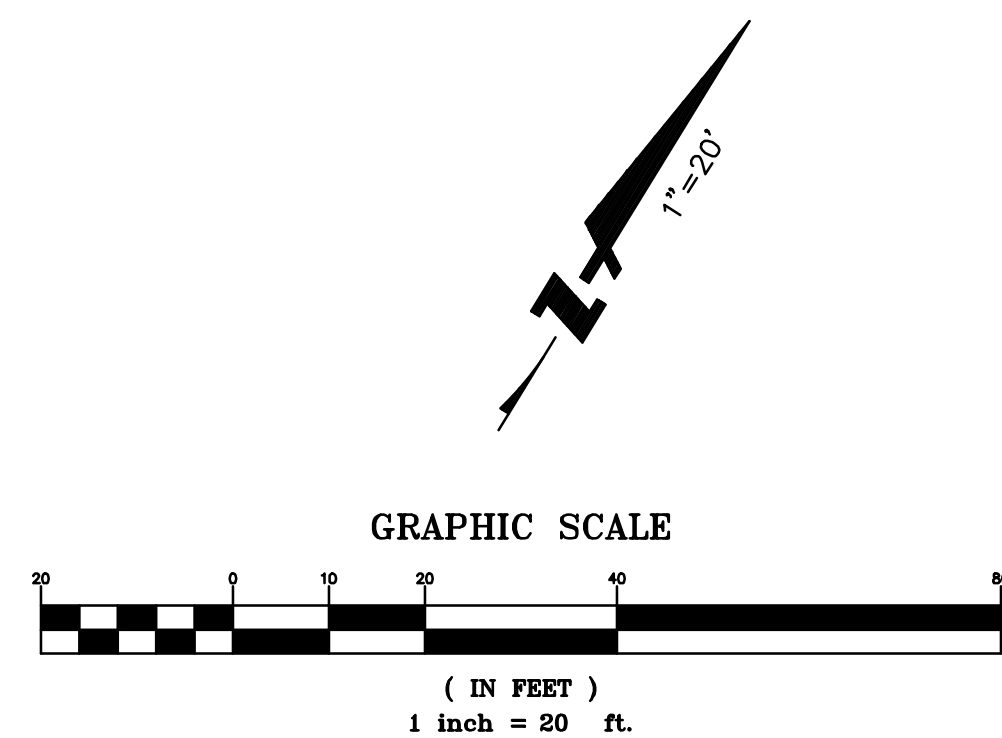
- ① DOWNSPOUT PIPED TO SD SYSTEM
SEE DETAIL 11 SHEET C7.0
- ② DOWNSPOUT TO SPLASH BLOCK
SEE DETAIL 12 SHEET C7.0

LEGEND:

- PROPERTY LINE
- STORM DRAIN PIPE (PVC SDR 26)
- PERFORATED UNDERDRAIN PIPE
SEE DETAIL 6, SHEET C7.0
- 2" SANITARY SEWER LINE
SEE PLUMBING PLANS
- 3/4" WATER LINE
SEE PLUMBING PLANS
- DRAINAGE BUBBLER (NDS 6" POP-UP EMITTER
WITH ELBOW AND CORRUGATED PIPE ADAPTER)
- AREA DRAIN
SEE DETAIL 14, SHEET C7.0
- CATCH BASIN
SEE DETAIL 15, SHEET C7.0
- DOWNSPOUT
SEE ARCHITECTURE PLANS

ABBREVIATIONS:

- AD AREA DRAIN
- CB CATCH BASIN
- DS DOWNSPOUT
- INV INVERT
- LF LINEAR FEET
- PERF PERFORATED
- S SLOPE
- SD STORM DRAIN
- SE SOUTH-EAST
- SW SOUTH-WEST



Revisions:

No.	Date	Revision
△	6-26-2020	Plan Check Corrections/Revision 1



Sheet Description:

UTILITY
PLAN

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Project#	20135091

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Revisions:

No.	Date	Revision
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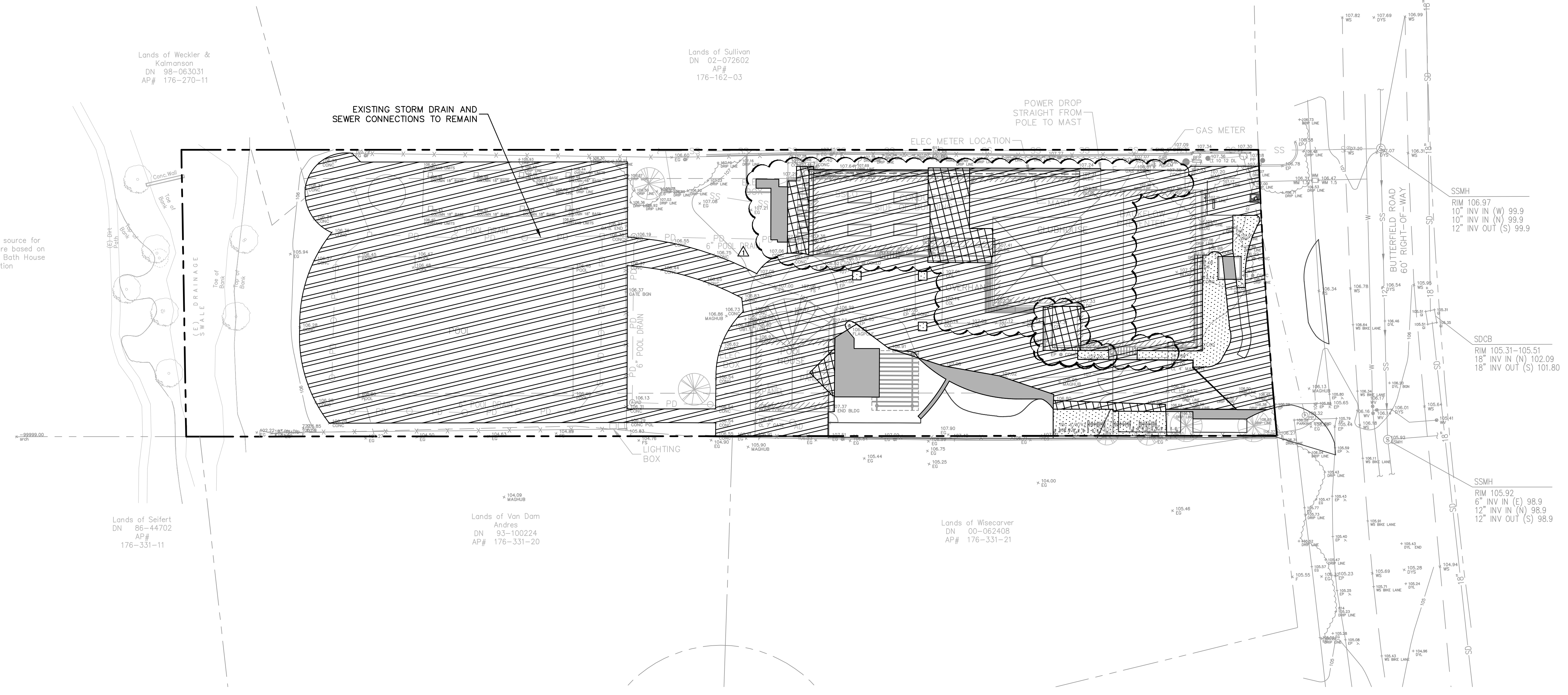


Sheet Description:

STORMWATER
CONTROL
PLAN

Scale	AS SHOWN
Drawn	AD
Checked	KP, ESS
Date	12-16-2019
Project#	20135001

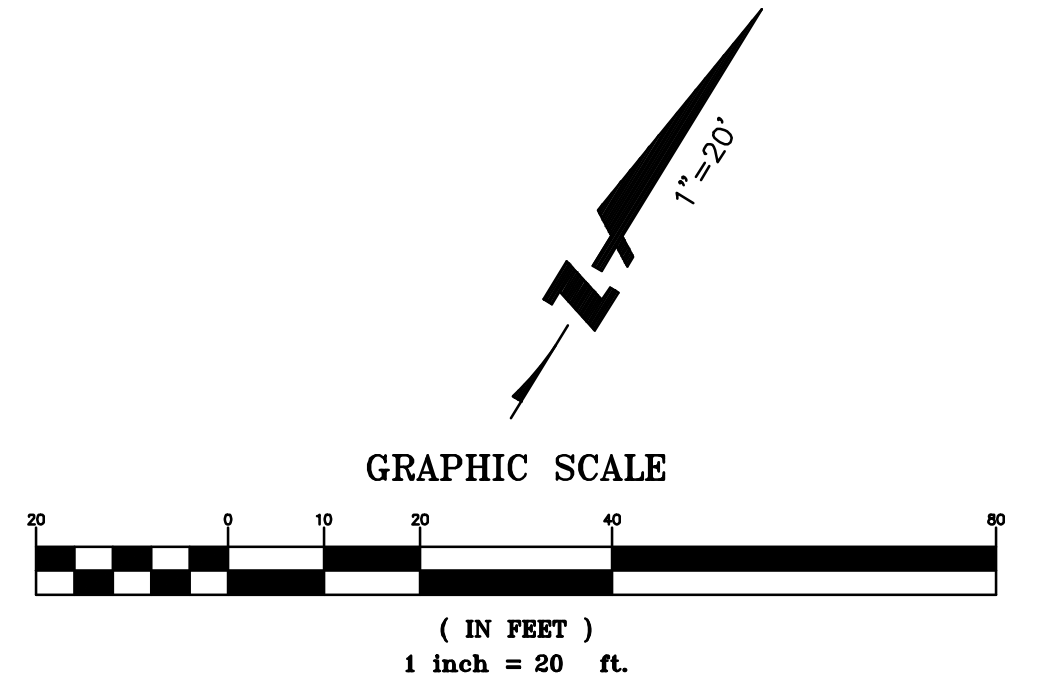
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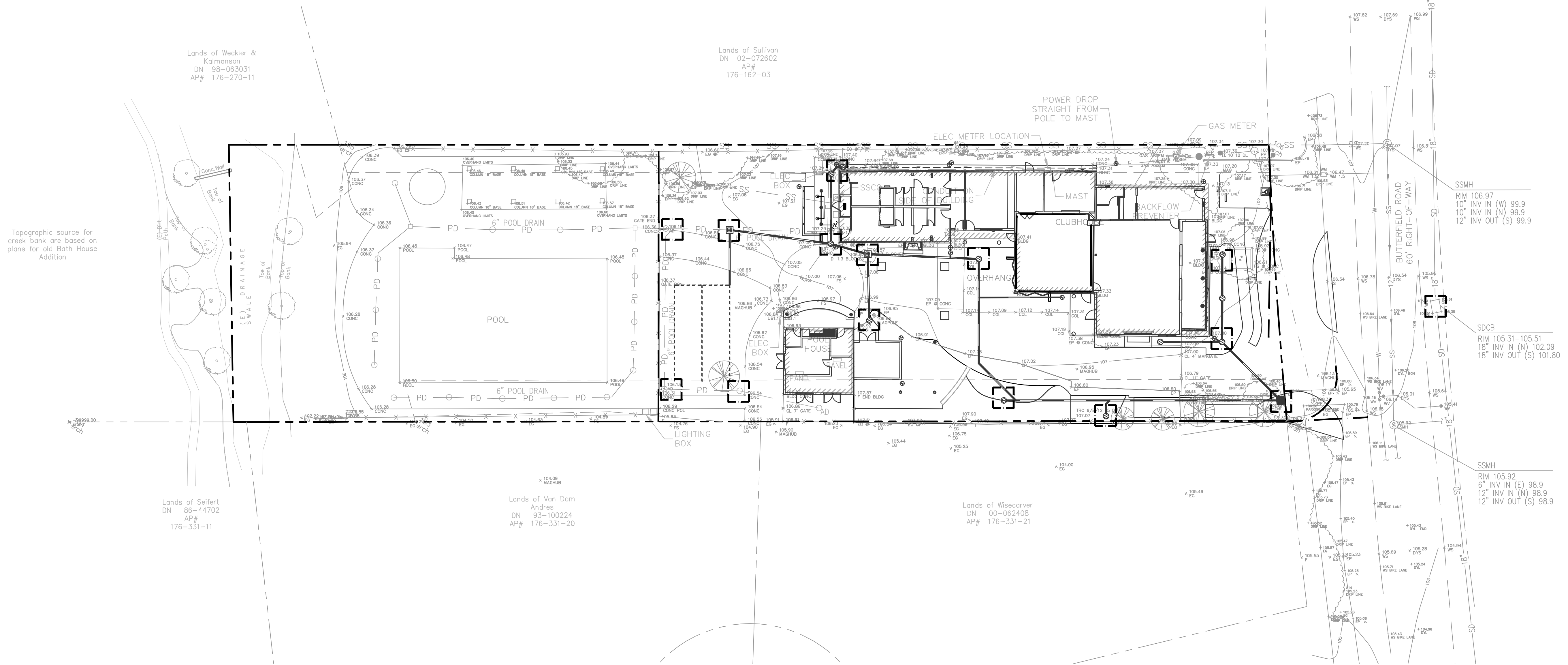


LEGEND:

	NEW IMPERVIOUS AREA (FORMERLY PERVIOUS)
	REPLACED IMPERVIOUS AREA
	NEW PERVIOUS AREA (FORMERLY IMPERVIOUS)
	EXISTING IMPERVIOUS AREA TO REMAIN

- NOTES:**
- EXISTING IMPERVIOUS AREA TO REMAIN = 23,063 SF
NEW IMPERVIOUS AREA = 812 SF
REPLACED IMPERVIOUS AREA = 1,155 SF
TOTAL PRE-PROJECT IMPERVIOUS AREA = 25,110 SF
TOTAL POST-PROJECT IMPERVIOUS AREA = 25,030 SF
 - SINCE THIS PROJECT CREATES OR REPLACES LESS THAN 2,500 SF OF IMPERVIOUS AREA, STORMWATER TREATMENT MEASURES ARE NOT REQUIRED.
 - THIS PROJECT PROPOSES TO DIRECT DOWNSPOUT DRAINAGE TO LANDSCAPED AREAS. SURFACE RUNOFF SHALL BE DIRECTED TO AREA DRAINS AND PIPES LEADING TO A SHALLOW DRAINAGE PERCOLATION FIELD. OVERFLOW RUNOFF SHALL BE DIRECTED TO A BUBBLER LOCATED IN A LANDSCAPED AREA ALONG THE SOUTH-EAST PROPERTY LINE.
 - DESIGN ENGINEER/ARCHITECT SHALL CERTIFY TO THE COUNTY IN WRITING UPON THE COMPLETION OF WORK THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTION.





Topographic source for creek bank are based on plans for old Bath House Addition

Lands of Weckler & Kalmanson
DN 98-063031
AP# 176-270-11

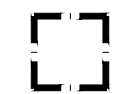


Lands of Sullivan
DN 02-072602
AP# 176-162-03

Lands of Seifert
DN 86-44702
AP# 176-331-11

Lands of Van Dam Andres
DN 93-100224
AP# 176-331-20

Lands of Wisecarver
DN 00-062408
AP# 176-331-21

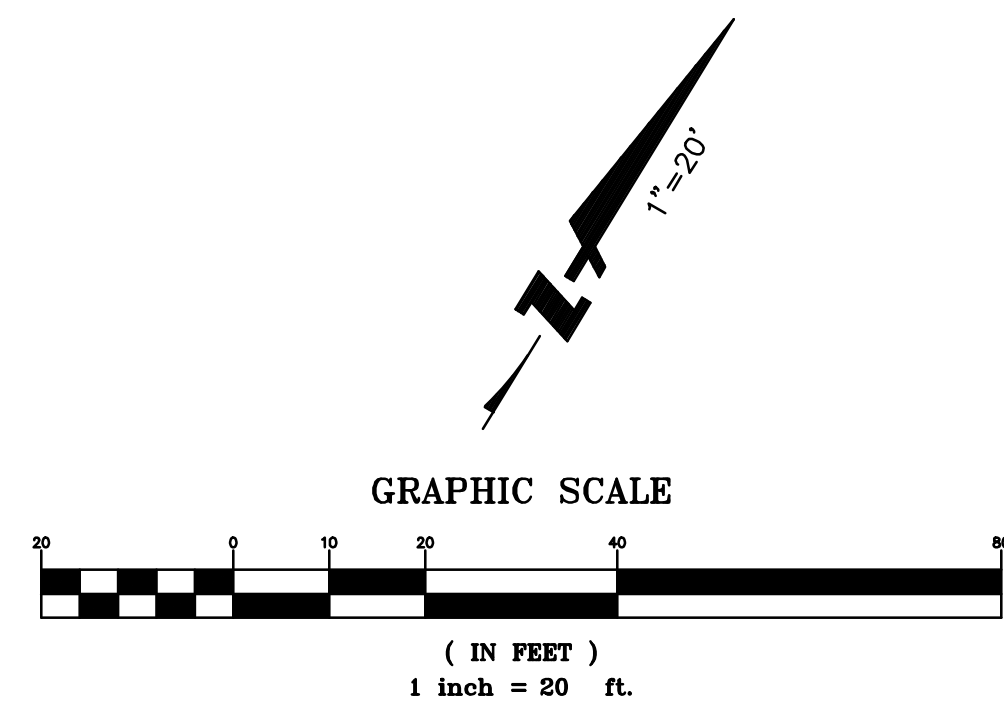
LEGEND

-  INLET PROTECTION PER DETAIL 1, SHEET C8.1
-  FIBER ROLL PER BMP DETAIL SE-5
-  CONCRETE WASHOUT (IF NEEDED)

* REFER TO CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICE (BMP) HANDBOOK FOR MORE INFORMATION.

EROSION CONTROL NOTES

1. SITE ACCESS SHOWN ON THIS PLAN IS PROVIDED FOR INFORMATION PURPOSES ONLY. CONTRACTOR SHALL LOCATE CONSTRUCTION ACCESS DRIVEWAYS AS NECESSARY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE SITE AND INSTALLING NEW CONSTRUCTION FENCING AS NECESSARY.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT AND MAINTAINED BY THE CONTRACTOR ON A YEAR-ROUND BASIS UNTIL ALL DISTURBED AREAS ARE STABILIZED UNLESS OTHERWISE PERMITTED BY THE COUNTY INSPECTOR.
4. ALL INLETS RECEIVING STORM WATER RUNOFF FROM THE PROJECT AREA MUST BE EQUIPPED WITH REQUIRED INLET PROTECTION.
5. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF ENTERING THE STORM DRAIN SYSTEM.
6. STOCKPILED EARTHEN MATERIAL SHALL BE EITHER COVERED WITH A TARP OR WATERED SUFFICIENTLY TO ELIMINATE DUST.
7. REFERENCE: "CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICE (BMP) HANDBOOK", JANUARY 2015.
8. CONSTRUCTION AREAS SHOWN ARE CONCEPTUAL. ACTUAL PLACEMENT TO BE DETERMINED BY CONTRACTOR BASED ON CURRENT BEST MANAGEMENT PRACTICES. CONTRACTOR SHALL SUBMIT A CONSTRUCTION STAGING PLAN.
9. THIS PROJECT WILL BE SUBJECT TO SWPPP PROVISIONS ADOPTED BY THE STATE OF CALIFORNIA IN SEPTEMBER 2009. SITE MONITORING OF STORM WATER DISCHARGE WILL BE REQUIRED THROUGHOUT CONSTRUCTION.



Revisions:

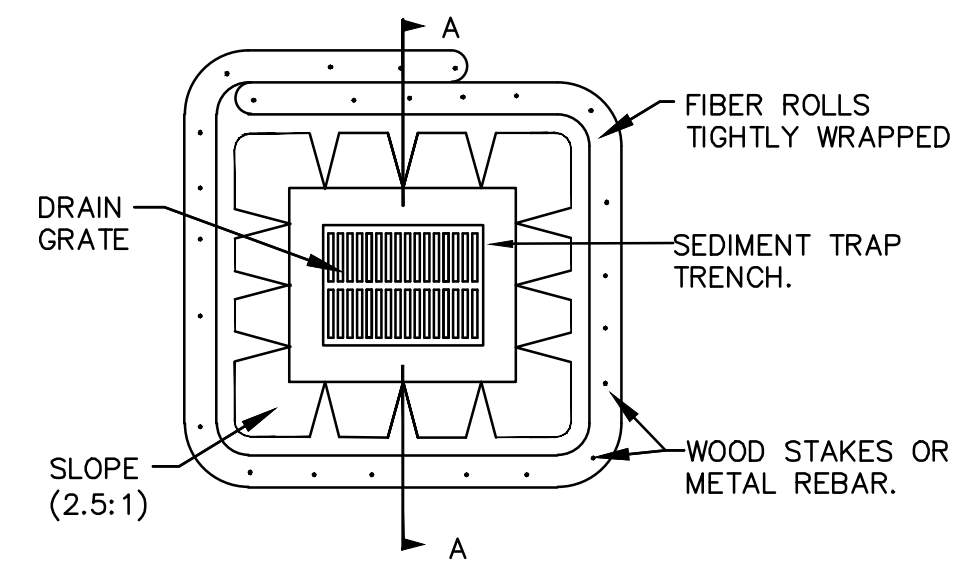
No.	Date	Revision
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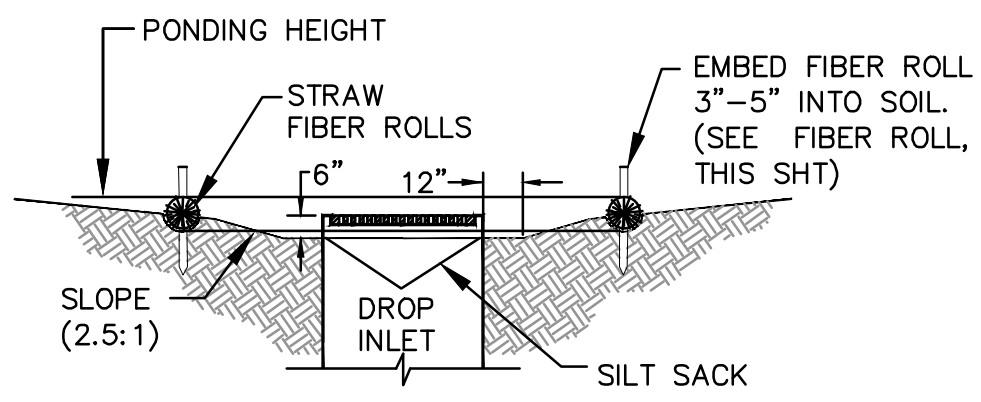
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EROSION CONTROL PLAN

Scale	AS SHOWN
Drawn	AD
Checked	KP, ESS
Date	12-16-2019
Project#	20135091

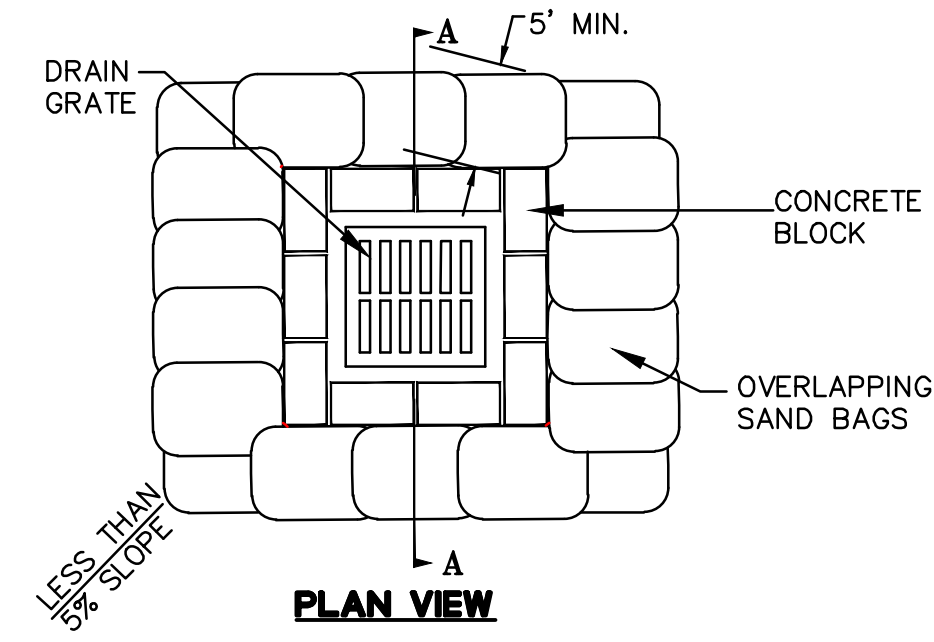


PLAN VIEW

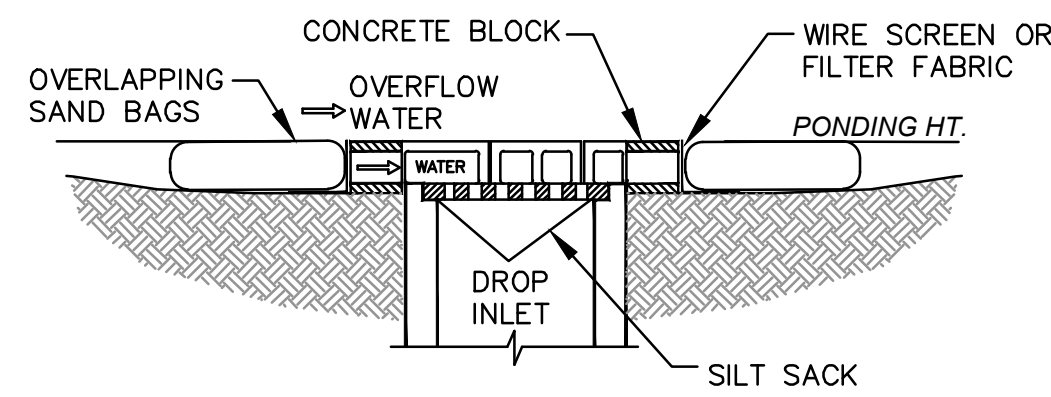


SECTION A-A

IN LANDSCAPING

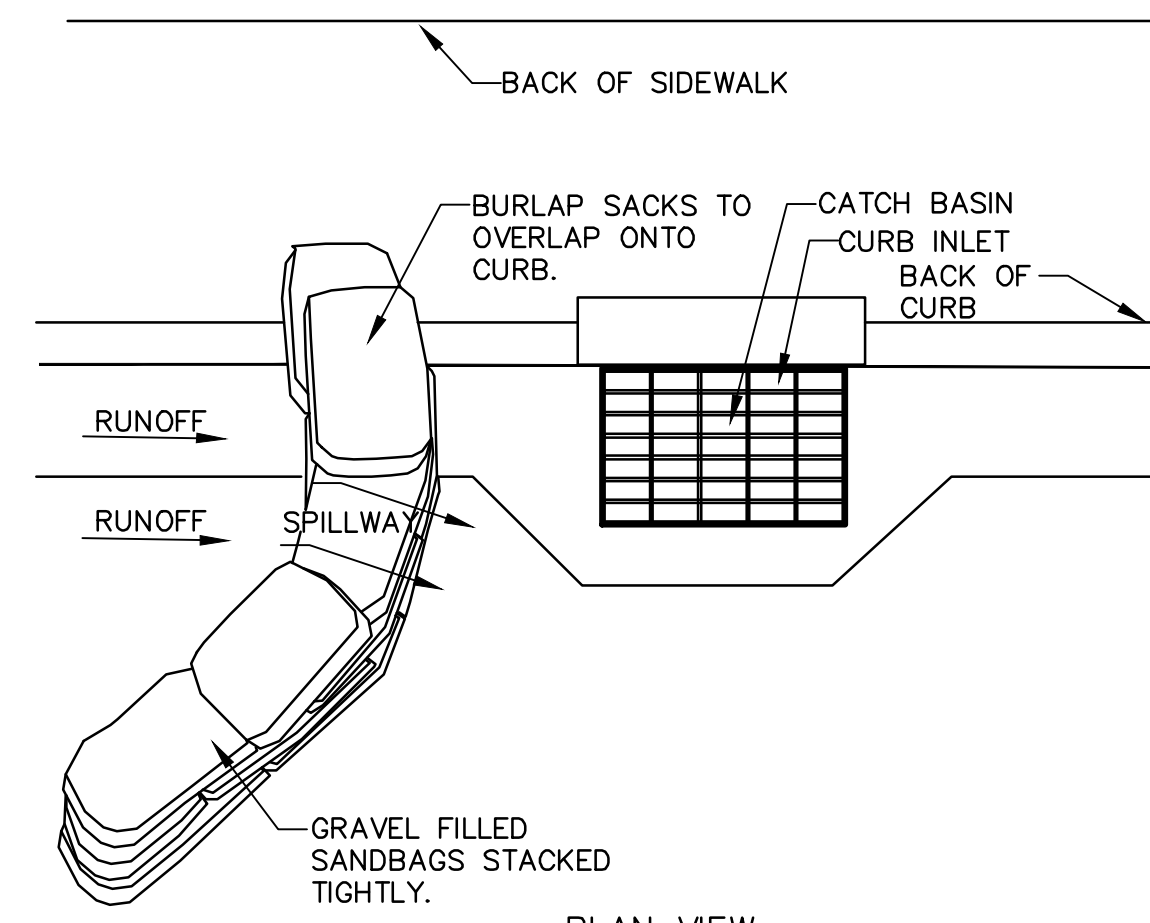


PLAN VIEW



SECTION A-A

IN PAVEMENT



PLAN VIEW

NOTES:

1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
2. SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC, ARE FILLED WITH GRAVEL LAYERED AND PACKED TIGHTLY.
3. LEAVE A ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
4. INSPECT BARRIERS AND REMOVE SEDIMENT IMMEDIATELY BEFORE AND AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

NOTES:

1. DURING THE DRY SEASON (APRIL 15TH TO OCTOBER 1ST) USE INSERTS AT ALL DROP INLETS.
2. INSERTS TO BE INSPECTED AND CLEANED WEEKLY AND IMMEDIATELY BEFORE AND AFTER EVERY RAIN EVENT.
3. EMPTY DROP INLET FILTERS WHEN FILTERS APPEAR TO BE HALF FULL.
4. DISPOSE OF TRAPPED SEDIMENT IN ACCORDANCE WITH LOCAL REQUIREMENTS.
5. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
6. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. USE REED & GRAHAM, INC. GEOSYNTHETICS STRAW WATTLE FIBER ROLL (COMES IN 9" X 25' ROLLS) OR EQUIVALENT. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING.

1 STORM INLET SEDIMENT BARRIER

NTS

No.	Date	Revision
△	6-26-2020	Plan Check Corrections/Revision 1



Sheet Description:

**EROSION
CONTROL
DETAILS**

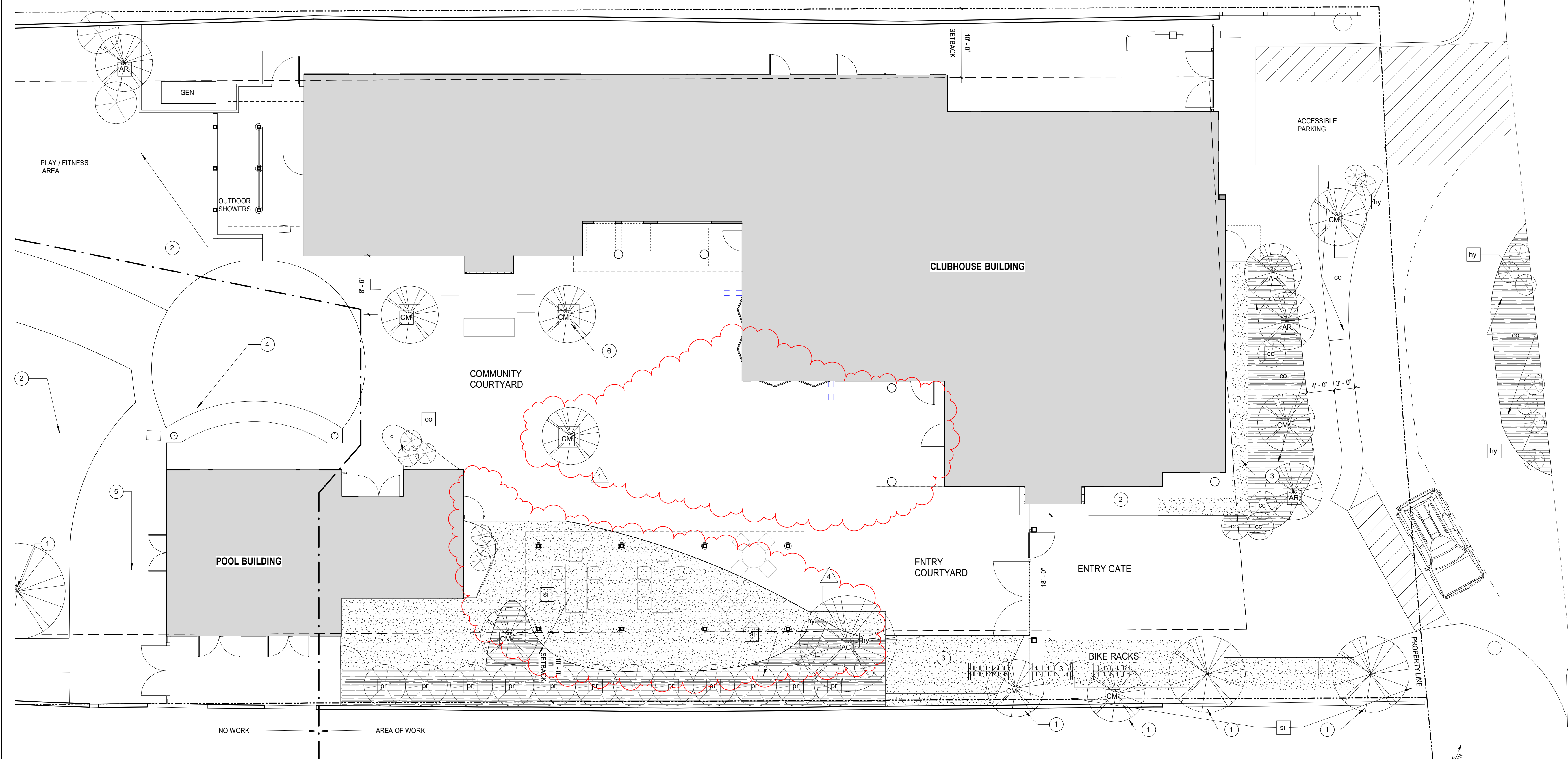
Scale	AS SHOWN
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Checked	KP, ESS
Date	12-16-2019
Project #	20135001

GENERAL LANDSCAPE NOTES

- BACKFLOW PROTECTION SHALL BE INSTALLED AT THE POINT OF CONNECTION TO THE WATER LINE. THE BACKFLOW PROTECTION SHALL BE INSTALLED AT THE POINT OF CONNECTION TO THE WATER LINE. THE BACKFLOW PREVENTOR SHALL BE TESTED UPON INSTALLATION AT THE REPORT SUBMITTED TO MMWD RECLAMATION AND BACKFLOW GROUP.
- INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS AT A DEPTH OF AT LEAST 6" INTO LANDSCAPE AREA.
- COMPOST TO HAVE A MIN OF 80% RECYCLED CONTENT, 80% POST CONSUMER.
- INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 100% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.
- PROVIDE A MIN OF 3" OF MULCH TO ALL EXPOSED SOIL SURFACES, EXCEPT IN AREAS OF TURF OR CREEPING OR ROOTING GROUNDCOVERS. ALL PLANT SPECIES SHALL NOT BE INVASIVE OR NON-FIRE SAFE AS DETERMINED BY CAL-IPC, THE LOCAL FIRE AGENCY AND MMWD.
- IRRIGATION SYSTEMS SHALL COMPLY WITH THE FOLLOWING:
 - AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
 - IRRIGATION CONTROLLERS SHALL BE OF A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
 - PRESSURE REGULATORS SHALL BE INSTALLED ON IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE COMPONENTS ARE WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
 - MANUAL SHUT OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY AND BEFORE EACH VALVE OR VALVE MANIFOLD.
 - AREAS LESS THAN 10 IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.

Callout	Plant / Species	Common Name	Fire Resistant (FireSafe Marin)	Mature Size	WUCOLS Water Use	Notes
Trees						
CM	Lagerstroemia "Natchez"	crepe myrtle	Y	15-20'hw	L	tree form
AR	Arbutus unedo	strawberry tree	Y	6'x10'	L	tree form
AC	Acer	maple	Y		M	species to match existing
Shrubs						
cc	Carpenteria californica	bush anemone	Y	8'x12'	M	
Ce	Cecris occidentalis	western redbud	Y	10'x10'	L	multi trunk
co	Coprosma kirkii	creeping coprosma	Y	1'-2'x4'-8'	L	
hy	hemerocallis "Tyrpeion"	yellow day lily	Y	18"-24"x24"	M	
ll	Ligustrum spp.	privet	Y		M	species to match existing
mg	convolvulus cneorum	bush morning glory	Y	2'x2'	L	
pr	Prunus laurocerasus	english laurel	Y	8'x12'	M	
Grasses and Grass Like						
si	Sisyrinchium spp.	blue eyes grasses	Y	1'x1'	L	
Vines						
Lo	Lonicera hispidula	pink honeysuckle	L		L	
Ro	Rosa banksiae	lady banks' rose	L		L	

- KEY NOTES**
- (E) TREE TO REMAIN
 - (E) LANDSCAPE AREA TO REMAIN
 - GRAVEL AREA TYP. BLACK STEEL EDGING
 - (E) BRICK PAVING TO REMAIN. PROTECT IN PLACE
 - (E) CONCRETE WALKWAY
 - TREE WELL, 3'X3'



LANDSCAPE PLAN
SCALE: 1/8" = 1'-0" **A1**

**Sleepy Hollow
Community Center**
1317 Butterfield Rd
San Anselmo, CA 94960
APN-176-162-07

**Fairchild
Broms
Design**

PO BOX 1528
SAN ANSELMO, CA 94960
415.459.8699

REVISION - CERT STORAGE
ARCHITECT / ENGINEER STAMP



DATE	DESCRIPTION	NO.
12.16.19	ISSUE FOR PERMIT	
05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
08.03.20	ISSUE FOR CONSTRUCTION	3
09.15.20	COORDINATION / REVISION	4

PROJECT NO. **19004**

DATE **12.16.2019**

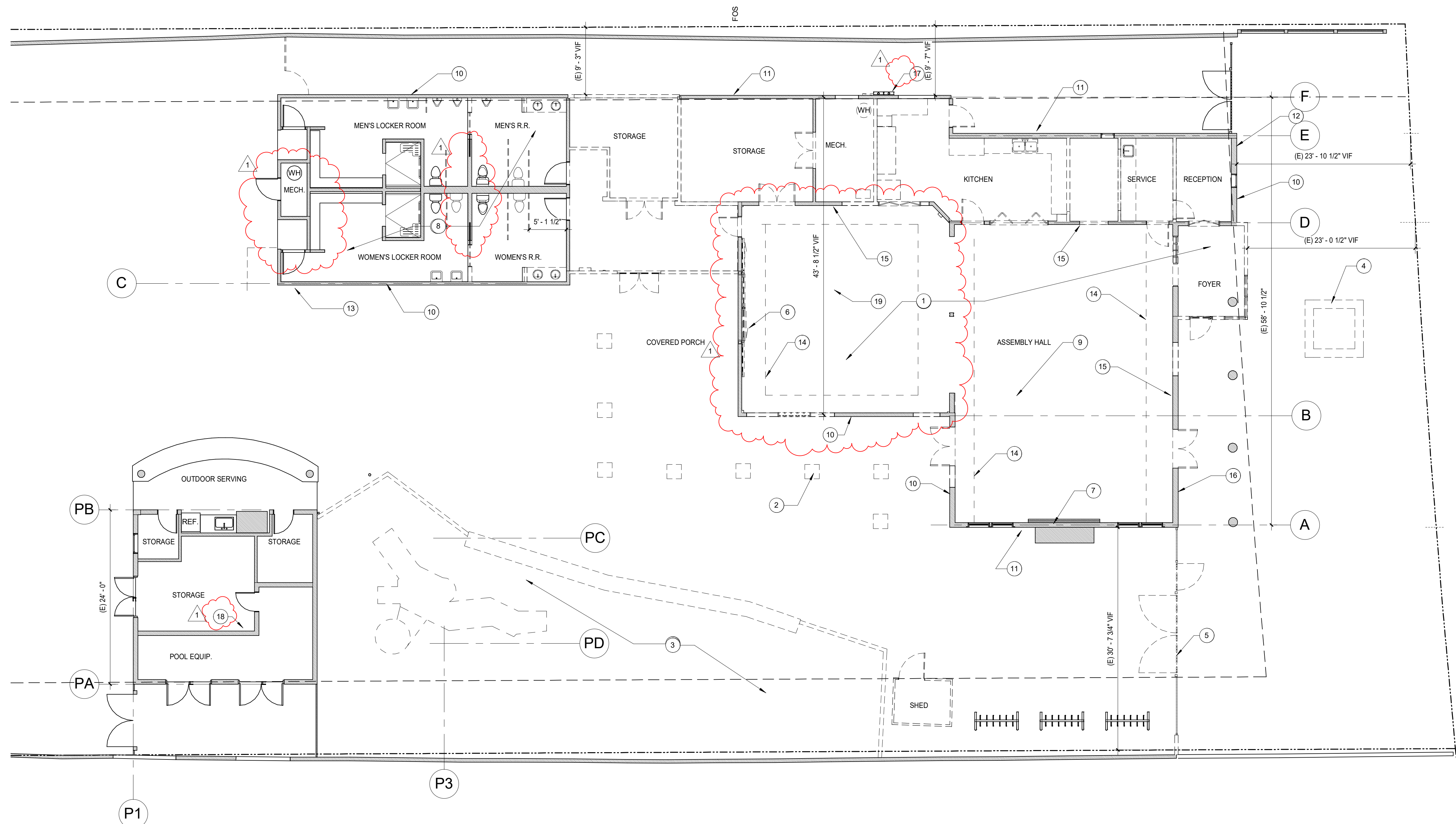
SCALE **As indicated**

SHEET TITLE **LANDSCAPE PLAN**

SHEET NO. **L1.0**

KEY NOTES

- 1 (E) SLAB TO REMAIN, PROTECT FOR STAINED FINISH
- 2 REMOVE (E) LOG COLUMNS, RETAIN FOR RE-USE. REMOVE CONCRETE FOOTINGS AND ASSOCIATED PAVING
- 3 REMOVE PLAY EQUIPMENT AND STORE FOR RE-USE, REMOVE BARK AND LOW WOOD WALL
- 4 REMOVE CONCRETE PLANTER AND TREE
- 5 GATE AND FENCE TO BE RELOCATED AND RE-INSTALLED
- 6 SLIDING DOORS TO BE RETAINED FOR RE-USE
- 7 REMOVE DECORATIVE PLASTER MANTEL AND PILASTERS AND STONE HEARTH AT FIREPLACE
- 8 REMOVE (E) FIXTURES AND FINISHES
- 9 REMOVE ACOUSTIC TILES AT CEILING, PROTECT WOOD BELOW FOR REFINISHING
- 10 REMOVE EXTERIOR SIDING / PLASTER, STRUCTURE TO REMAIN
- 11 EXTERIOR SIDING / PLASTER TO REMAIN, PATCH AND REPAIR
- 12 RELOCATE (E) COMCAST / TEL TO NORTH FACE OF BUILDING
- 13 SALVAGE ALL EXTERIOR BUILDING MOUNTED LIGHTS FOR POSSIBLE REUSE
- 14 SALVAGE EXISTING WOOD FACIA, REMOVE SOFFIT AND ASSOCIATED LIGHTING
- 15 SALVAGE EXISTING WOOD PANELING FOR RE-USE
- 16 (E) BOARD AND BATON SIDING TO REMAIN THIS WALL
- 17 (E) ELECTRICAL PANEL / METERS TO REMAIN, REPLACE PANEL AS NOTED ON ELECTRICAL PLANS
- 18 (E) ELECTRICAL SUBPANEL TO REMAIN
- 19 REMOVE ACOUSTIC TILE AT CEILING, EXPLORATORY DEMO OF AREA OF PLYWOOD TO EXPOSE STRUCTURE



FLOOR PLAN - DEMOLITION
SCALE: 1/8" = 1'-0" A1

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REVISION - CERT STORAGE
ARCHITECT / ENGINEER STAMP



DATE	DESCRIPTION	NO.
12.16.19	ISSUE FOR PERMIT	
03.25.20	SCOPE REVISIONS	
05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
06.26.20	DEMOLITION PERMIT	
08.03.20	ISSUE FOR CONSTRUCTION	3

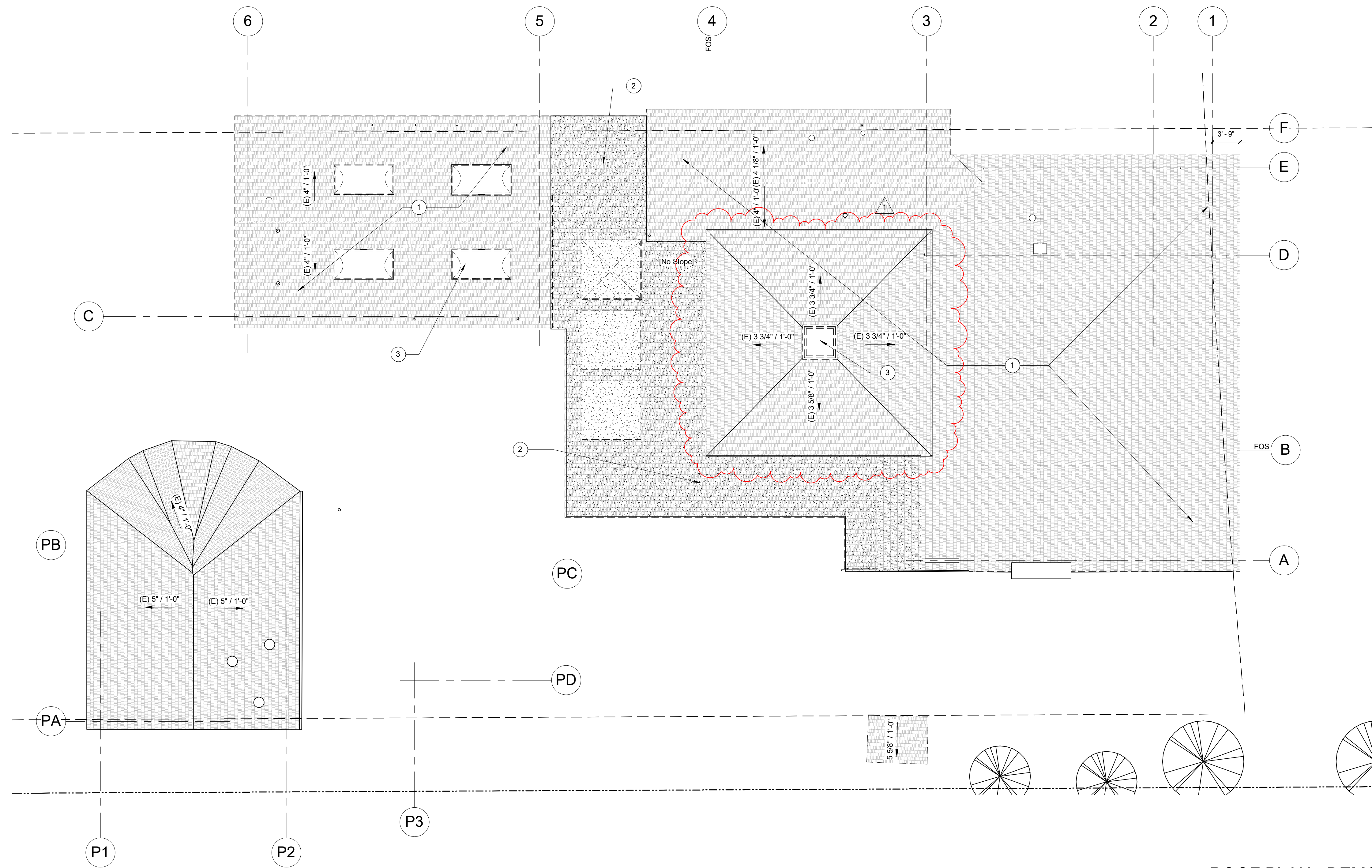
PROJECT NO. 19004
DATE 12.16.2019
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SHEET TITLE

PLAN - DEMOLITION
SHEET NO.

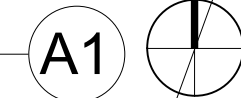
A0.1

KEY NOTES

- 1 REMOVE ROOFING, STRUCTURE TO REMAIN
- 2 REMOVE ROOFING AND STRUCTURE
- 3 SKYLIGHTS TO BE REPLACED, NO FRAMING MODIFICATIONS, TYP



ROOF PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"



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REVISION - CERT STORAGE
ARCHITECT / ENGINEER STAMP

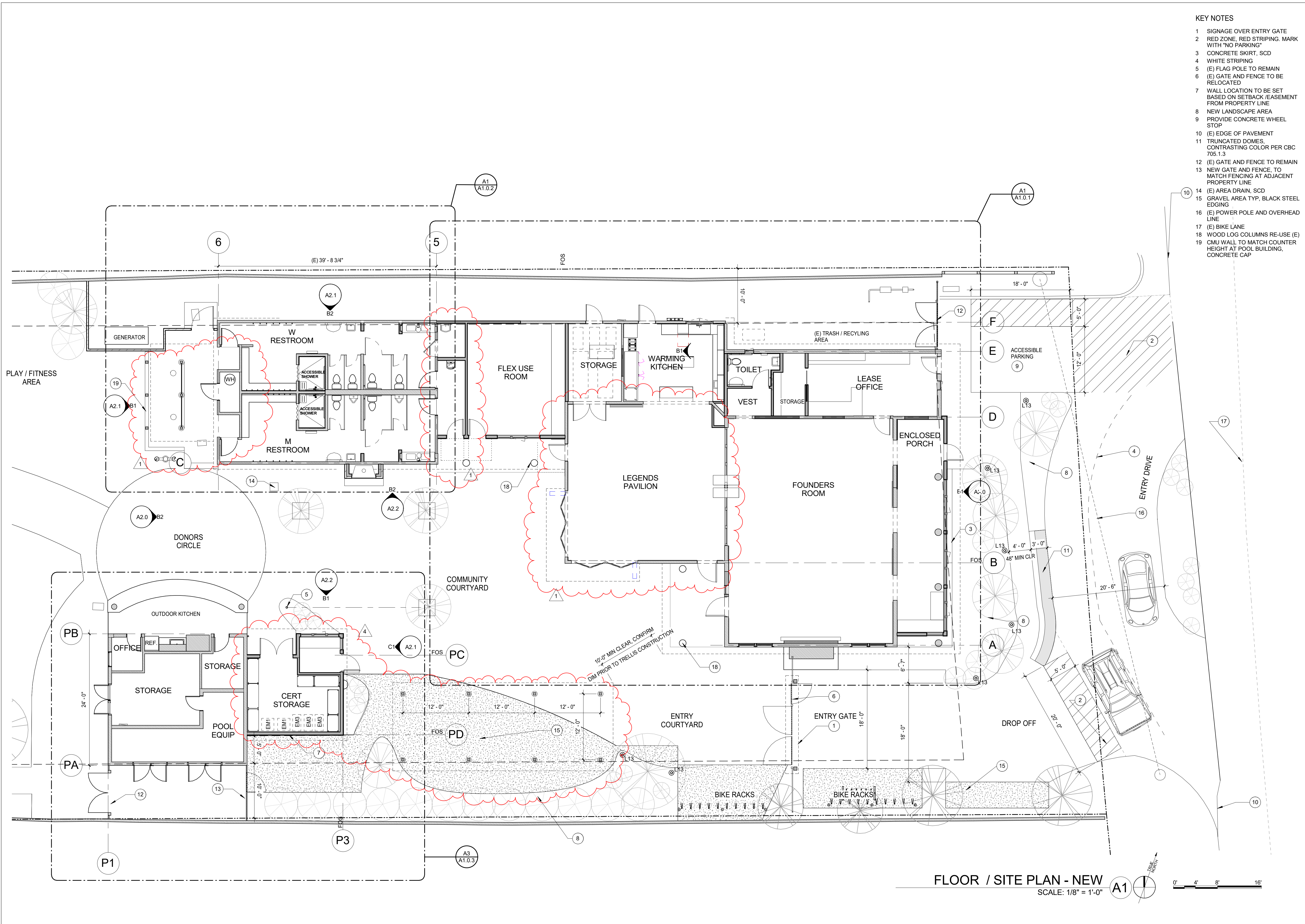


DATE	DESCRIPTION	NO.
12.16.19	ISSUE FOR PERMIT	
03.25.20	SCOPE REVISIONS	
05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
06.26.20	DEMOLITION PERMIT	
08.03.20	ISSUE FOR CONSTRUCTION	3

PROJECT NO. 19004
DATE 12.16.2019
SCALE 1/8" = 1'-0"

SHEET TITLE
ROOF PLAN - DEMOLITION
SHEET NO.

A0.2



- KEY NOTES**
- 1 SIGNAGE OVER ENTRY GATE
 - 2 RED ZONE, RED STRIPING, MARK WITH "NO PARKING"
 - 3 CONCRETE SKIRT, SCD
 - 4 WHITE STRIPING
 - 5 (E) FLAG POLE TO REMAIN
 - 6 (E) GATE AND FENCE TO BE RELOCATED
 - 7 WALL LOCATION TO BE SET BASED ON SETBACK /EASEMENT FROM PROPERTY LINE
 - 8 NEW LANDSCAPE AREA
 - 9 PROVIDE CONCRETE WHEEL STOP
 - 10 (E) EDGE OF PAVEMENT
 - 11 TRUNCATED DOMES, CONTRASTING COLOR PER CBC 705.1.3
 - 12 (E) GATE AND FENCE TO REMAIN
 - 13 NEW GATE AND FENCE, TO MATCH FENCING AT ADJACENT PROPERTY LINE
 - 14 (E) AREA DRAIN, SCD
 - 15 GRAVEL AREA TYP, BLACK STEEL EDGING
 - 16 (E) POWER POLE AND OVERHEAD LINE
 - 17 (E) BIKE LANE
 - 18 WOOD LOG COLUMNS RE-USE (E)
 - 19 CMU WALL TO MATCH COUNTER HEIGHT AT POOL BUILDING, CONCRETE CAP

FLOOR / SITE PLAN - NEW
 SCALE: 1/8" = 1'-0" **A1**

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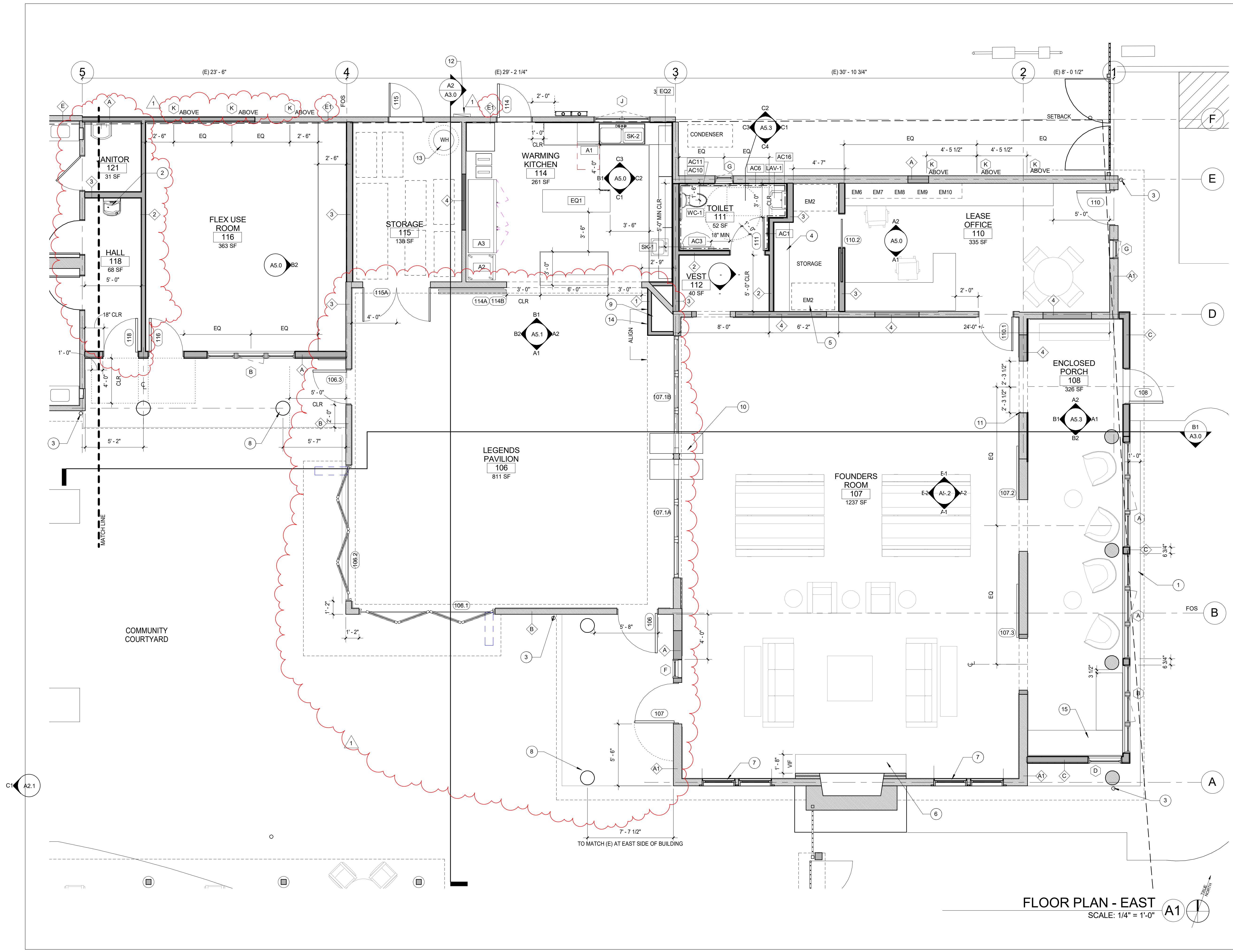


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09.15.20	COORDINATION / REVISION	4

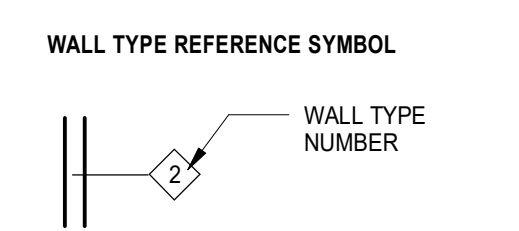
PROJECT NO. **19004**
 DATE **12.16.2019**
 SCALE **1/8" = 1'-0"**
 SHEET TITLE

**FLOOR / SITE
 PLAN - NEW**
 SHEET NO. **A1.0**

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- KEY NOTES**
- 1 CONCRETE SKIRT, SCD
 - 2 DRINKING FOUNTAIN AND BOTTLE FILLER
 - 3 DOWNSPOUT, SEE ROOF PLAN
 - 4 PREFABRICATED SHELVING, NOT IN CONTRACT, PROVIDE BACKING AT WOOD STUD WALLS
 - 5 EMERGENCY SUPPLIES, NOT IN CONTRACT
 - 6 EXPOSED (E) BRICK HEARTH
 - 7 (E) WINDOW TO REMAIN
 - 8 WOOD LOG COLUMNS RE-USE (E)
 - 9 RECESSED FIRE EXTINGUISHER LOCATION, ARCHITECT TO SELECT
 - 10 MOVABLE WALL SYSTEM, STACK LOCATION
 - 11 EDGE OF EXISTING OPENING
 - 12 NEW ELECTRICAL PANEL, PROVIDE TRANSFER SWITCH TO NEW GENERATOR AND PREP FOR SOLAR CONNECTION
 - 13 NEW WATER HEATER, AO SMITH BTX-80, 92% EFFICIENCY 50 GAL STORAGE TANK
 - 14 WALL TO ALIGN WITH (E) ANGLED WALL END POINT
 - 15 WOOD BENCH, WD.1, EXPOSED FINISHED PLY TOP SEAT, 4" CUSHIONS



WALL TYPES INDICATED ON THE PLANS CONTINUE TO ANY CORNERS OR INTERSECTION OF WALLS ON THE SIDE INDICATED. WALL TYPES ABOVE OR BELOW OPENING SHALL BE THE SAME AS EITHER SIDE OF THE OPENING.

ALIGN DIFFERENT WALL TYPES AS NECESSARY FOR A CONTINUOUS FINISH SURFACE.

REFER TO THE FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR WALL FINISHES, WALL COVERINGS, PANELS, AND TRIM.

SEE DWG A8.0 FOR WALL TYPES.

(N) PARTITION, CMU

(N) PARTITION, WOOD FRAMING

(E) WALL, PROVIDE BATT INSULATION WHERE WALL IS OPENED

--- TILE WAINSCOT LOCATION
 - - - FULL HEIGHT TILE LOCATION

SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION

SEE SHEET A1.1 FOR ACCESSORY AND EQUIPMENT SCHEDULES

SEE SHEETS A1.0.2 AND A1.0.3 FOR TYPICAL PLAN NOTES

FLOOR PLAN - EAST
 SCALE: 1/4" = 1'-0"

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PROJECT NO. **19004**

DATE **12.16.2019**

SCALE **1/4" = 1'-0"**

SHEET TITLE **FLOOR PLAN - EAST**

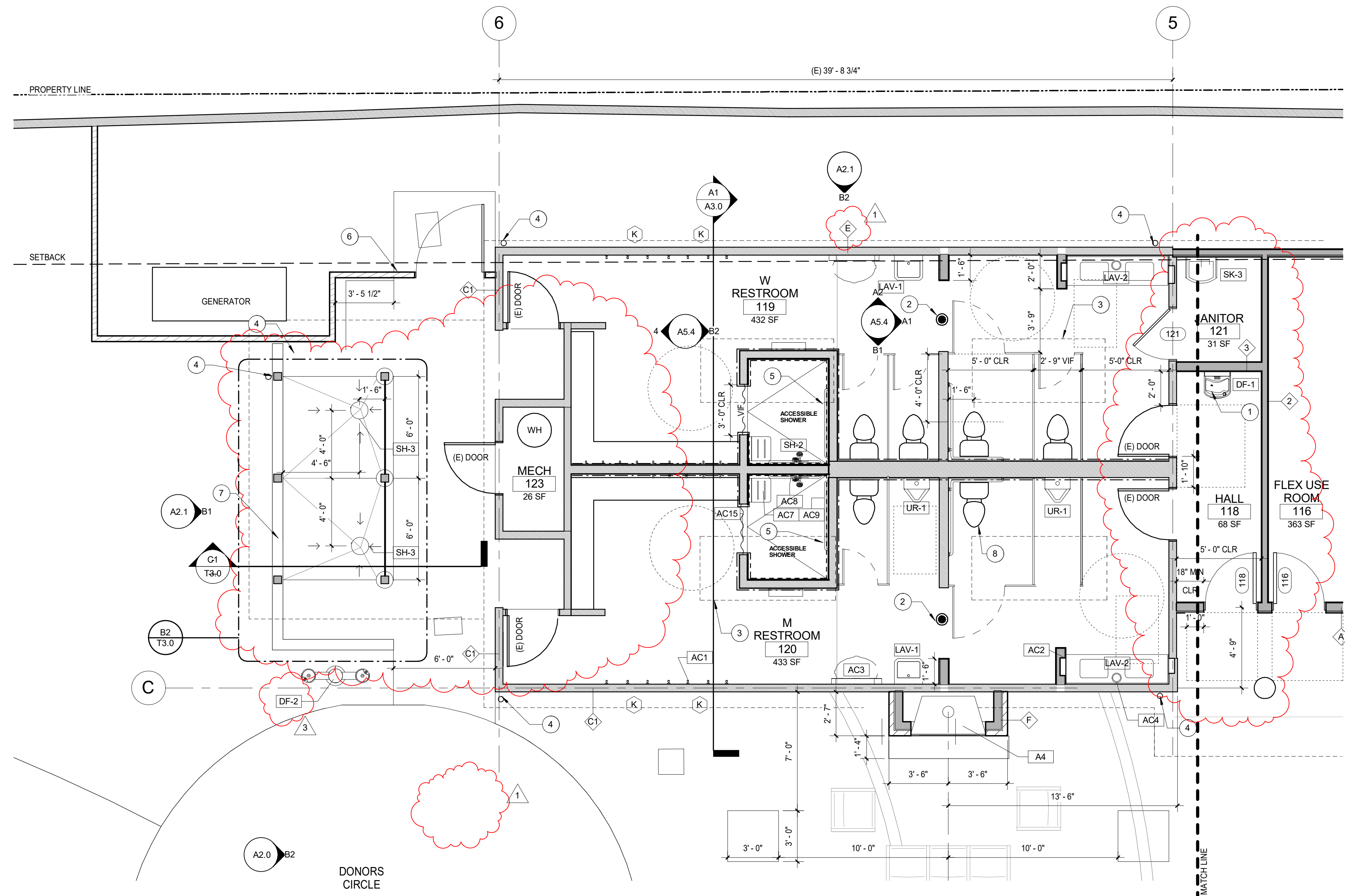
SHEET NO. **A1.0.1**

KEY NOTES

- 1 DRINKING FOUNTAIN AND BOTTLE FILLER
- 2 EXISTING FLOOR DRAIN LOCATION TO REMAIN, NEW COVER
- 3 SKYLIGHT ABOVE, TYP. SEE ROOF PLAN FOR TYPE
- 4 DOWNSPOUT, SEE ROOF PLAN
- 5 (E) SHOWER DRAIN LOCATION TO REMAIN, NEW DRAIN BODY AND COVER
- 6 6" WOOD FENCE AND GATE, NIC
- 7 CMU WALL TO MATCH COUNTER HEIGHT AT POOL BUILDING, CONCRETE CAP
- 8 VERIFY ALL CLEARANCE DIMENSIONS IN FIELD, EXISTING TOILETS ARE 1.6GPF OR 1.4GPF

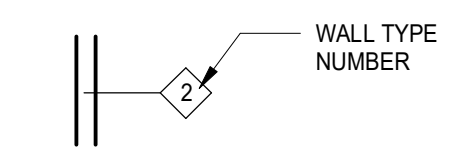
GENERAL NOTES

- 1 DOORS IN NEW OPENINGS TO BE LOCATED WITH HINGE SIDE JAMB 4" FROM PERPENDICULAR WALL UN.
- 2 PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
- 3 ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- 4 INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
- 5 VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- 6 PROVIDE FIRE-BLOCKING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL), AS PER 2013 CBC 718.2.2 & R302.11
- 7 PROVIDE DRAFT-STOPPING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL), AS PER 2013 CBC 718.3.4 & R302.11. DRAFT-STOPS SHALL BE INSTALLED SO THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT. AND IS DIVIDED IN APPROX. EQUAL AREAS.
- 8 PRESSURE TREATED LUMBER TO BE USED IF IN DIRECT CONTACT WITH CONCRETE OR CMU IF THERE IS NO PROVIDED AIRGAP.
- 9 SEE DWGS T0.1 & T0.2 FOR APPLICABLE CODE INFORMATION.
- 10 TOILET ACCESSORIES ROOM 119 TO MATCH THOSE IN ROOM 120 EXCEPT AS NOTED SEE DWG T1.3 FOR TOILET ACCESSORY TYPICAL LOCATIONS & MOUNTING HEIGHTS.



FLOOR PLAN - WEST
SCALE: 1/4" = 1'-0"

WALL TYPE REFERENCE SYMBOL



WALL TYPES INDICATED ON THE PLANS CONTINUE TO ANY CORNERS OR INTERSECTION OF WALLS ON THE SIDE INDICATED. WALL TYPES ABOVE OR BELOW OPENING SHALL BE THE SAME AS EITHER SIDE OF THE OPENING.

ALIGN DIFFERENT WALL TYPES AS NECESSARY FOR A CONTINUOUS FINISH SURFACE.

REFER TO THE FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR WALL FINISHES, WALL COVERINGS, PANELS, AND TRIM.

SEE DWG A8.0 FOR WALL TYPES.

(N) PARTITION, CMU

(N) PARTITION, WOOD FRAMING

(E) WALL, PROVIDE BATT INSULATION WHERE WALL IS OPENED

--- TILE WAINGSCOT LOCATION

--- FULL HEIGHT TILE LOCATION

SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION

SEE SHEET A7.1 FOR ACCESSORY AND EQUIPMENT SCHEDULES

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PROJECT NO. **19004**

DATE **12.16.2019**

SCALE **1/4" = 1'-0"**

SHEET TITLE

FLOOR PLANS - WEST

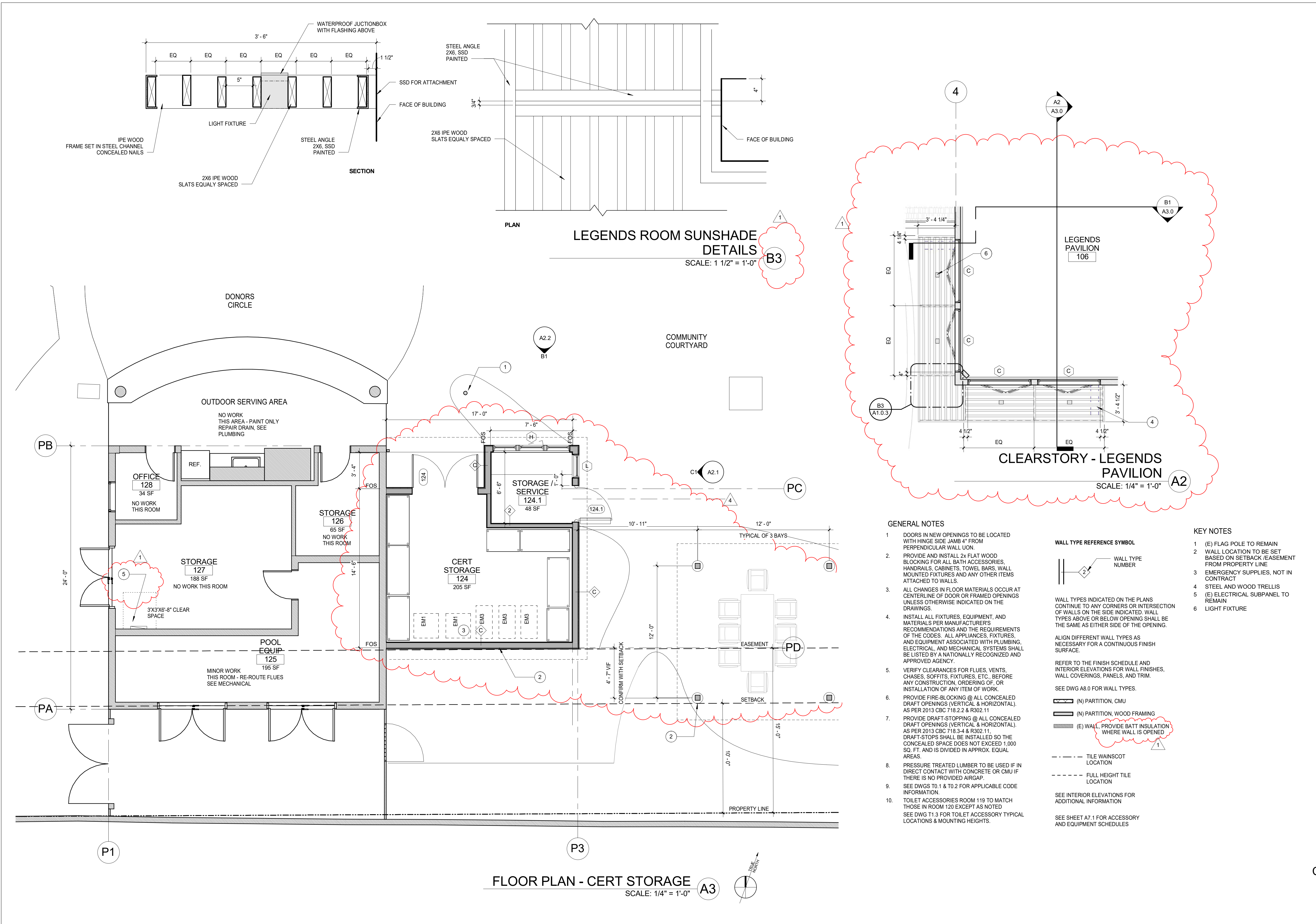
SHEET NO.

A1.0.2



DATE	DESCRIPTION	NO.
12.16.19	ISSUE FOR PERMIT	
03.25.20	SCOPE REVISIONS	
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08.03.20	ISSUE FOR CONSTRUCTION	3
09.15.20	COORDINATION / REVISION	4

PROJECT NO.	19004
DATE	12.16.2019
SCALE	As indicated
SHEET TITLE	FLOOR PLAN - CLEARSTORY/STORAGE
SHEET NO.	A1.0.3



LEGENDS ROOM SUNSHADE DETAILS
SCALE: 1 1/2" = 1'-0"

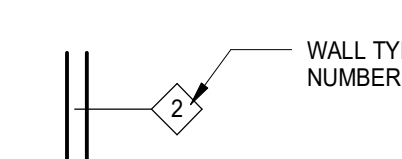
CLEARSTORY - LEGENDS PAVILION
SCALE: 1/4" = 1'-0"

FLOOR PLAN - CERT STORAGE
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- DOORS IN NEW OPENINGS TO BE LOCATED WITH HINGE SIDE JAMB 4" FROM PERPENDICULAR WALL UON.
- PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
- ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
- VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC. BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- PROVIDE FIRE-BLOCKING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL), AS PER 2013 CBC 718.2.2 & R302.11
- PROVIDE DRAFT-STOPPING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL), AS PER 2013 CBC 718.3-4 & R302.11. DRAFT-STOPS SHALL BE INSTALLED SO THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT. AND IS DIVIDED IN APPROX. EQUAL AREAS.
- PRESSURE TREATED LUMBER TO BE USED IF IN DIRECT CONTACT WITH CONCRETE OR CMU IF THERE IS NO PROVIDED AIRGAP.
- SEE DWGS T0.1 & T0.2 FOR APPLICABLE CODE INFORMATION.
- TOILET ACCESSORIES ROOM 119 TO MATCH THOSE IN ROOM 120 EXCEPT AS NOTED. SEE DWG T1.3 FOR TOILET ACCESSORY TYPICAL LOCATIONS & MOUNTING HEIGHTS.

WALL TYPE REFERENCE SYMBOL



WALL TYPES INDICATED ON THE PLANS CONTINUE TO ANY CORNERS OR INTERSECTION OF WALLS ON THE SIDE INDICATED. WALL TYPES ABOVE OR BELOW OPENING SHALL BE THE SAME AS EITHER SIDE OF THE OPENING.

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REFER TO THE FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR WALL FINISHES, WALL COVERINGS, PANELS, AND TRIM.

SEE DWG A8.0 FOR WALL TYPES.

- (N) PARTITION, CMU
- (N) PARTITION, WOOD FRAMING
- (E) WALL, PROVIDE BATT INSULATION WHERE WALL IS OPENED

- TILE WAINSCOT LOCATION
- FULL HEIGHT TILE LOCATION

SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION

SEE SHEET A7.1 FOR ACCESSORY AND EQUIPMENT SCHEDULES

KEY NOTES

- (E) FLAG POLE TO REMAIN
- WALL LOCATION TO BE SET BASED ON SETBACK/EASEMENT FROM PROPERTY LINE
- EMERGENCY SUPPLIES, NOT IN CONTRACT
- STEEL AND WOOD TRELIS
- (E) ELECTRICAL SUBPANEL TO REMAIN
- LIGHT FIXTURE

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PROJECT NO. 19004

DATE 12.16.2019

SCALE 1/8" = 1'-0"

SHEET TITLE
ROOF PLAN - NEW

SHEET NO.
A1.2

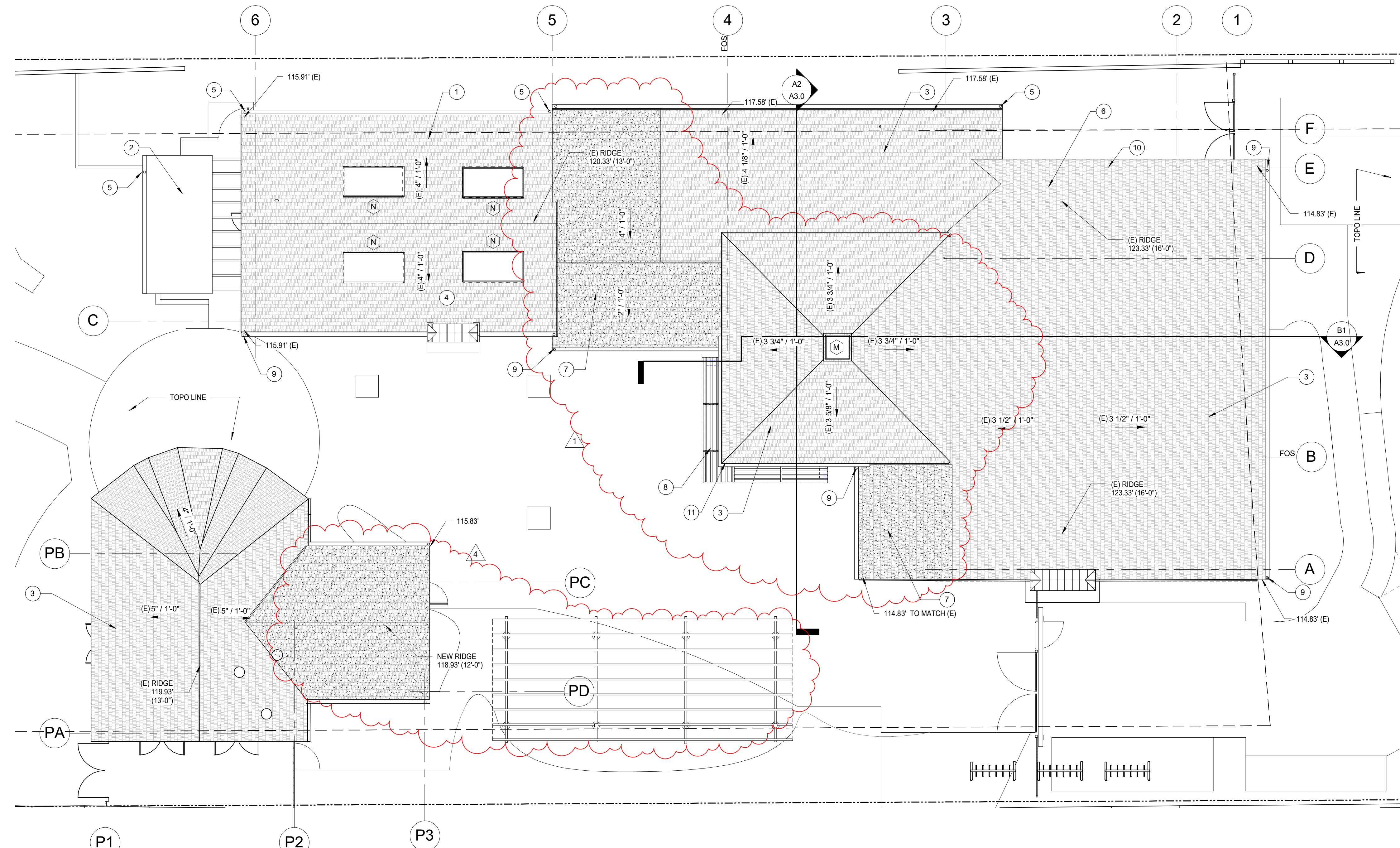
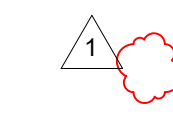
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KEY NOTES

- 1 NEW ASPHALT SHINGLE ROOFING OVER (E) STRUCTURE, NEW INSULATION AND GYP BD APPLIED TO (E) STRUCTURE
- 2 SOLID COVER OVER SHOWERS, CORRUGATED METAL GALVANIZED, SLOPE TO DRAIN
- 3 NEW ASPHALT SHINGLE ROOFING ON (E) STRUCTURE
- 4 PREP ROOF FOR SOLAR PANELS, NO ROOF PENETRATIONS THIS AREA
- 5 DOWNSPOUT TO SPLASH BLOCK
- 6 ANTENNA LOCATIONS, COORDINATE LOCATION AND REQUIREMENTS WITH OWNER
- 7 ASPHALT SHINGLE ROOFING, NEW STRUCTURE
- 8 STEEL AND WOOD TRELLIS
- 9 DOWNSPOUT, PIPE TO STORM DRAIN SYSTEM
- 10 GABLE VENT, 111 SI
- 11 EXTEND EAVES AT CORNERS FLUSH TO (E) BEAMS, SEE A3.2

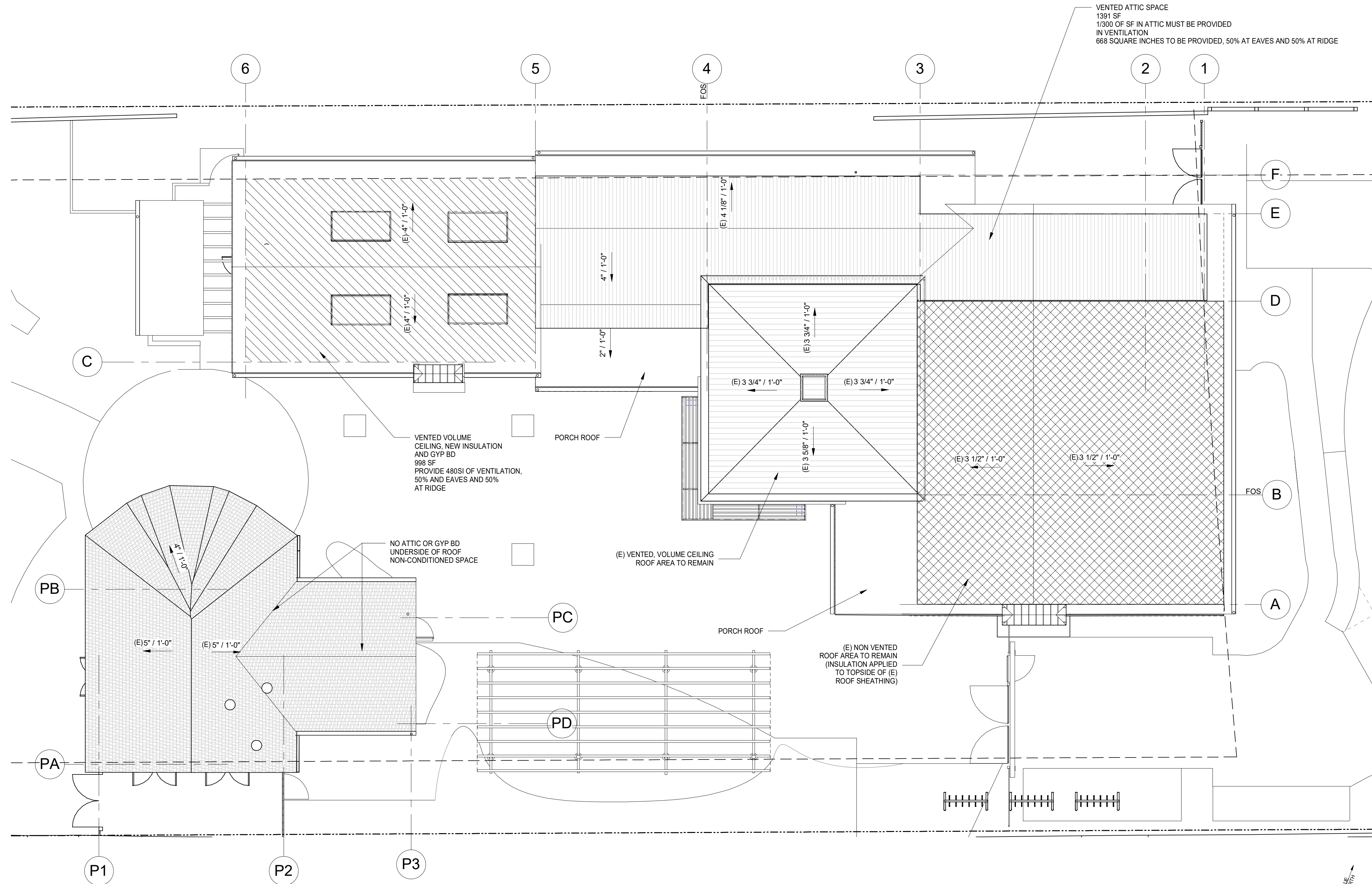
GENERAL ROOF NOTES

1. MINIMIZE ROOF PENETRATIONS FOR PLUMBING VENTS, SPD
2. COORDINATE SOLAR PANEL ATTACHMENTS WITH SOLAR INSTALLER PRIOR TO ROOFING INSTALLATION
3. ALL EXISTING ROOFING TO BE REPLACED, INSTALL PER MANUFACTURERS RECOMMENDATIONS
4. SEE SHEET A7.1 FOR MATERIAL SPECIFICATIONS



ROOF PLAN - NEW
SCALE: 1/8" = 1'-0"





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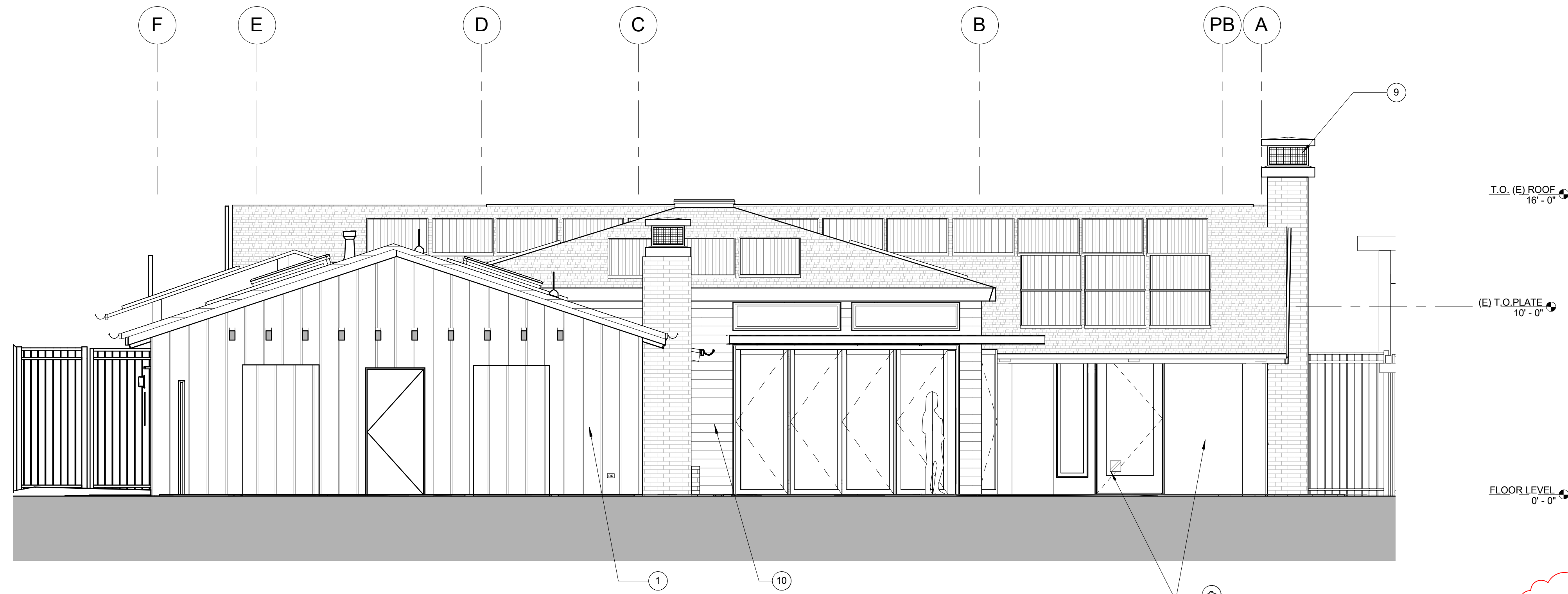


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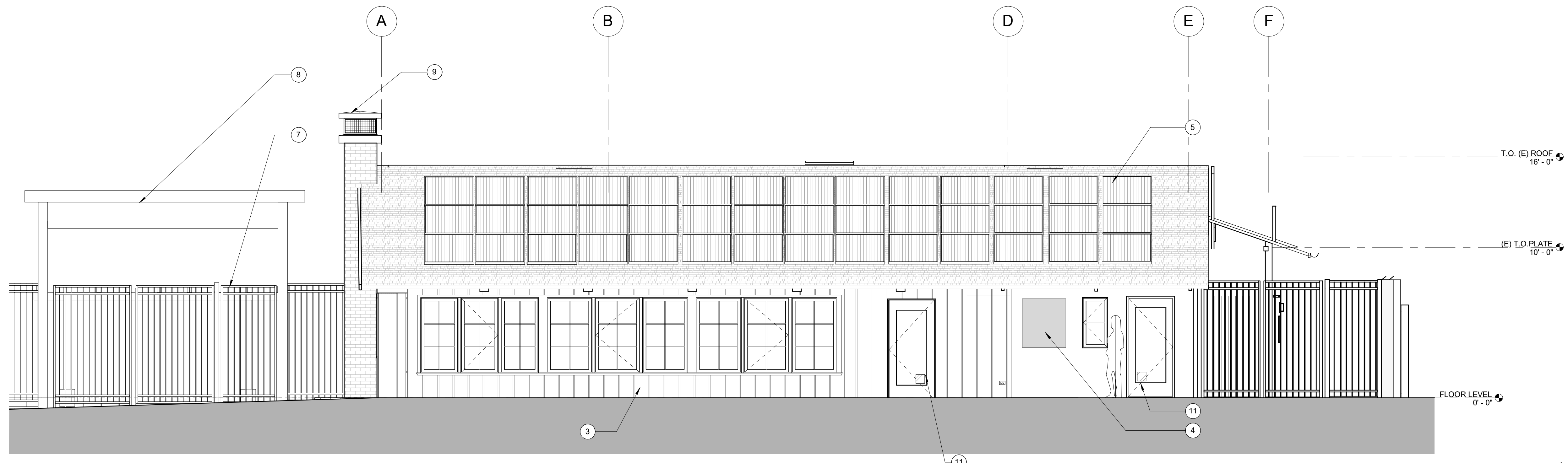
PROJECT NO. 19004
DATE 05.20.2020
SCALE 1/8" = 1'-0"

SHEET TITLE
**ROOF
VENTILATION**
SHEET NO. **A1.2.1**

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WEST ELEVATION
SCALE: 1/4" = 1'-0" **B2**



EAST ELEVATION
SCALE: 1/4" = 1'-0" **B1**

- GENERAL NOTES**
- 1 PAINT ALL EXTERIOR WALLS P8, TYP. EXCEPT AS NOTED
 - 2 PAINT ALL EAVES COLOR P3 TYP.
 - 3 PAINT ALL FACIA COLOR P8 TYP.
 - 4 VERIFY ALL EXISTING ELEVATION DATUMS IN THE FIELD.
 - 5 WINDOW AND DOOR CASING NOT SHOWN SEE DETAILS AND INTERIOR ELEVATIONS

- KEY NOTES**
- 1 FIBER CEMENT BOARD AND BATTEN
 - 2 EXTERIOR PLASTER FINISH
 - 3 FIBER CEMENT PANELING
 - 4 BULLETIN DISPLAY CASES
 - 5 ASPHALT SHINGLE ROOFING
 - 6 CORRUGATED ROOFING
 - 7 (E) GATE AND FENCE TO BE RELOCATED
 - 8 NEW WOOD ENTRY TRELLIS WITH SIGNAGE
 - 9 CHIMNEY CAP, MASTER SERVICES, MASTER CAP, STYLE #1, COLOR TO MATCH ROOF OR FIRESIDE CHIMNEY SUPPLY, STAINLESS STEEL OUTSIDE MOUNT CHIMNEY CAP, SEPIA BROWN OR EQUAL.
 - 10 HORIZONTAL FIBER CEMENT SIDING, SHIPLAP, PAINTED P12
 - 11 COORDINATE SIGNAGE WITH ARCHITECT, COLOR LOCATION AND REQUIREMENTS

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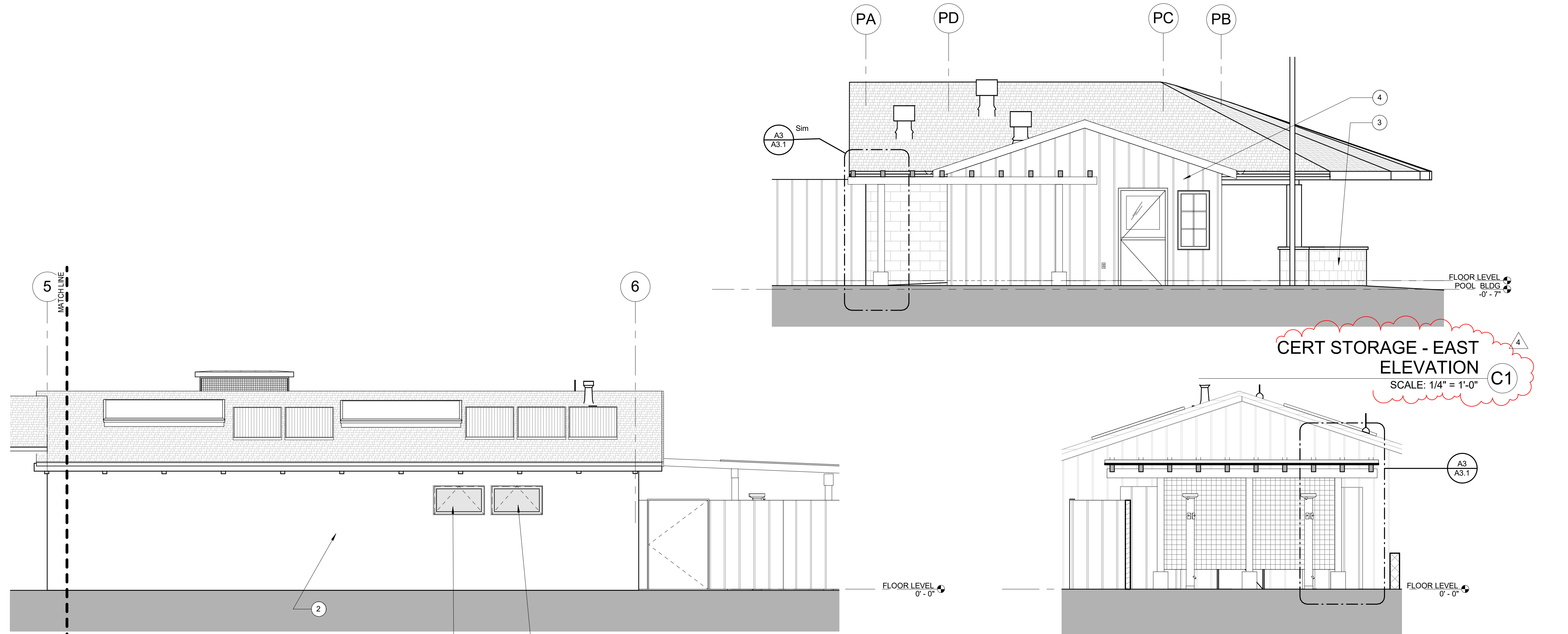


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SHEET TITLE

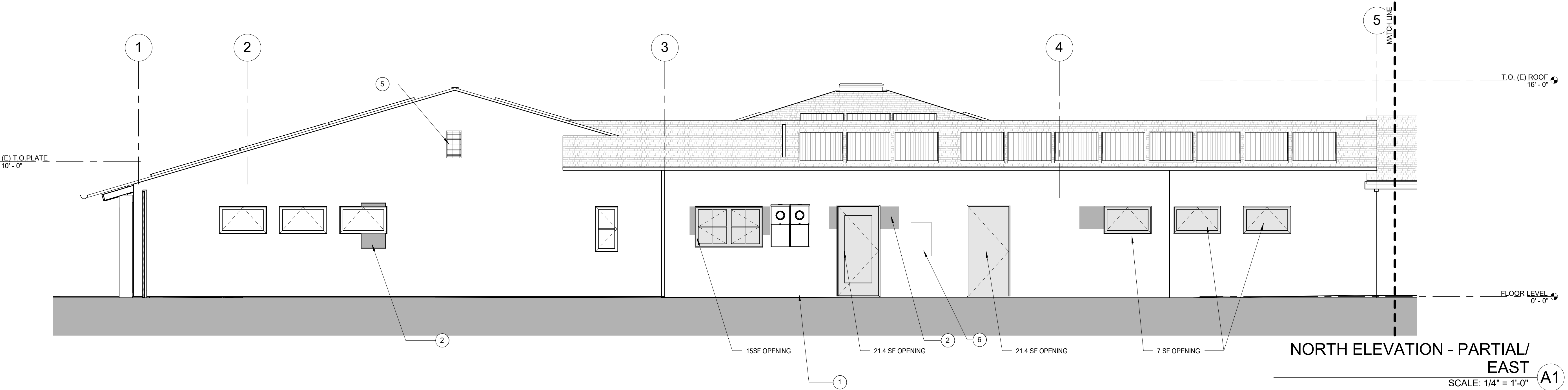
ELEVATIONS

SHEET NO. **A2.0**



NORTH ELEVATION - PARTIAL / WEST
SCALE: 1/4" = 1'-0" B2

OUTDOOR SHOWERS - WEST ELEVATION
SCALE: 1/4" = 1'-0" B1



NORTH ELEVATION - PARTIAL / EAST
SCALE: 1/4" = 1'-0" A1

- GENERAL NOTES**
- 1 PAINT ALL EXTERIOR WALLS P8. TYP. EXCEPT AS NOTED
 - 2 PAINT ALL EAVES COLOR P3 TYP.
 - 3 PAINT ALL FACIA COLOR P8 TYP.
 - 4 VERIFY ALL EXISTING ELEVATION DATUMS IN THE FIELD.
 - 5 WINDOW AND DOOR CASING NOT SHOWN SEE DETAILS AND INTERIOR ELEVATIONS
- KEY NOTES**
- 1 EXISTING EXTERIOR PLASTER FINISH
 - 2 EXTERIOR PLASTER FINISH
 - 3 EXISTING CMU
 - 4 FIBER CEMENT BOARD AND BATTEN
 - 5 GABLE VENT, VULCAN VENT, NEW CAL METAL INC. VG 1424FC
 - 6 NEW ELECTRICAL PANEL, PROVIDE TRANSFER SWITCH TO NEW GENERATOR AND PREP FOR SOLAR CONNECTION

CERT STORAGE - EAST ELEVATION
SCALE: 1/4" = 1'-0" C1

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PROJECT NO. 19004

DATE 05.20.2020

SCALE 1/4" = 1'-0"

SHEET TITLE ELEVATIONS

SHEET NO. A2.1

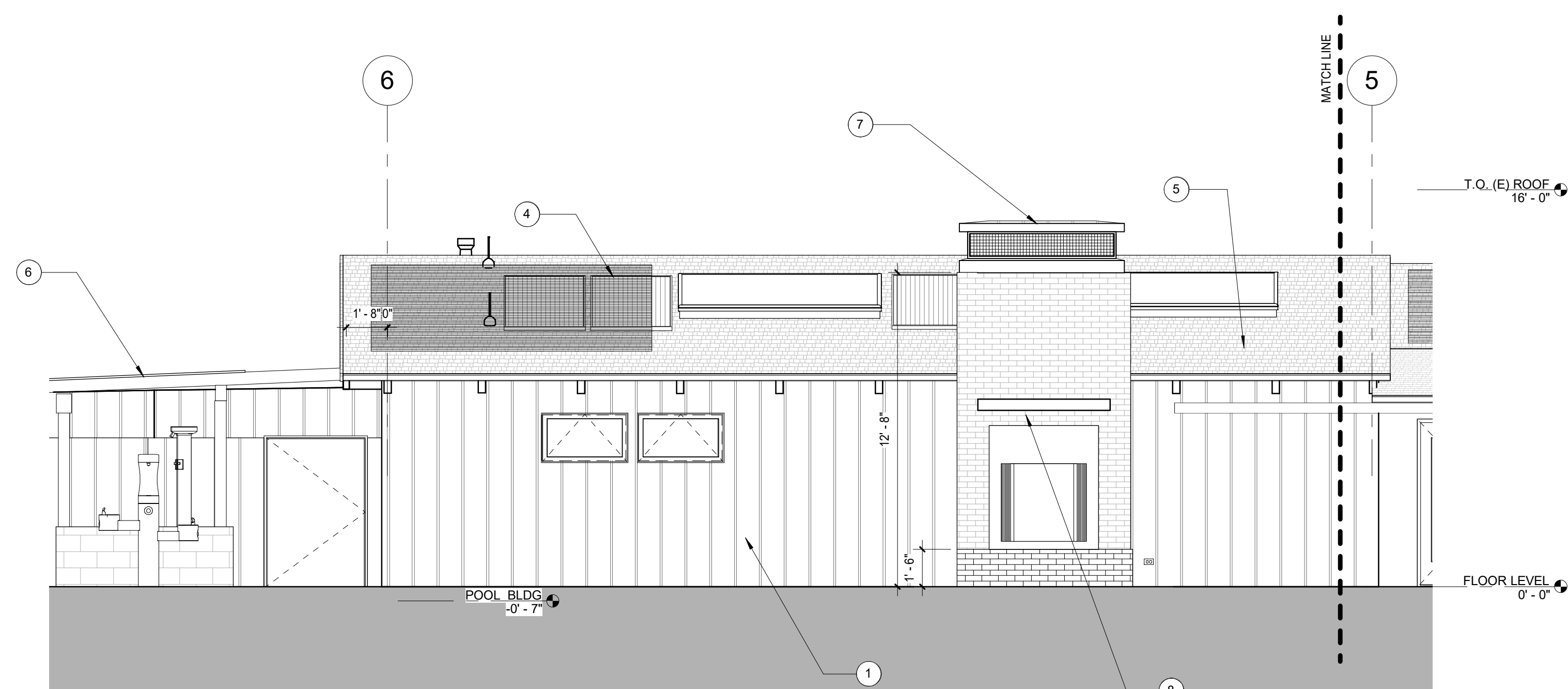
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GENERAL NOTES

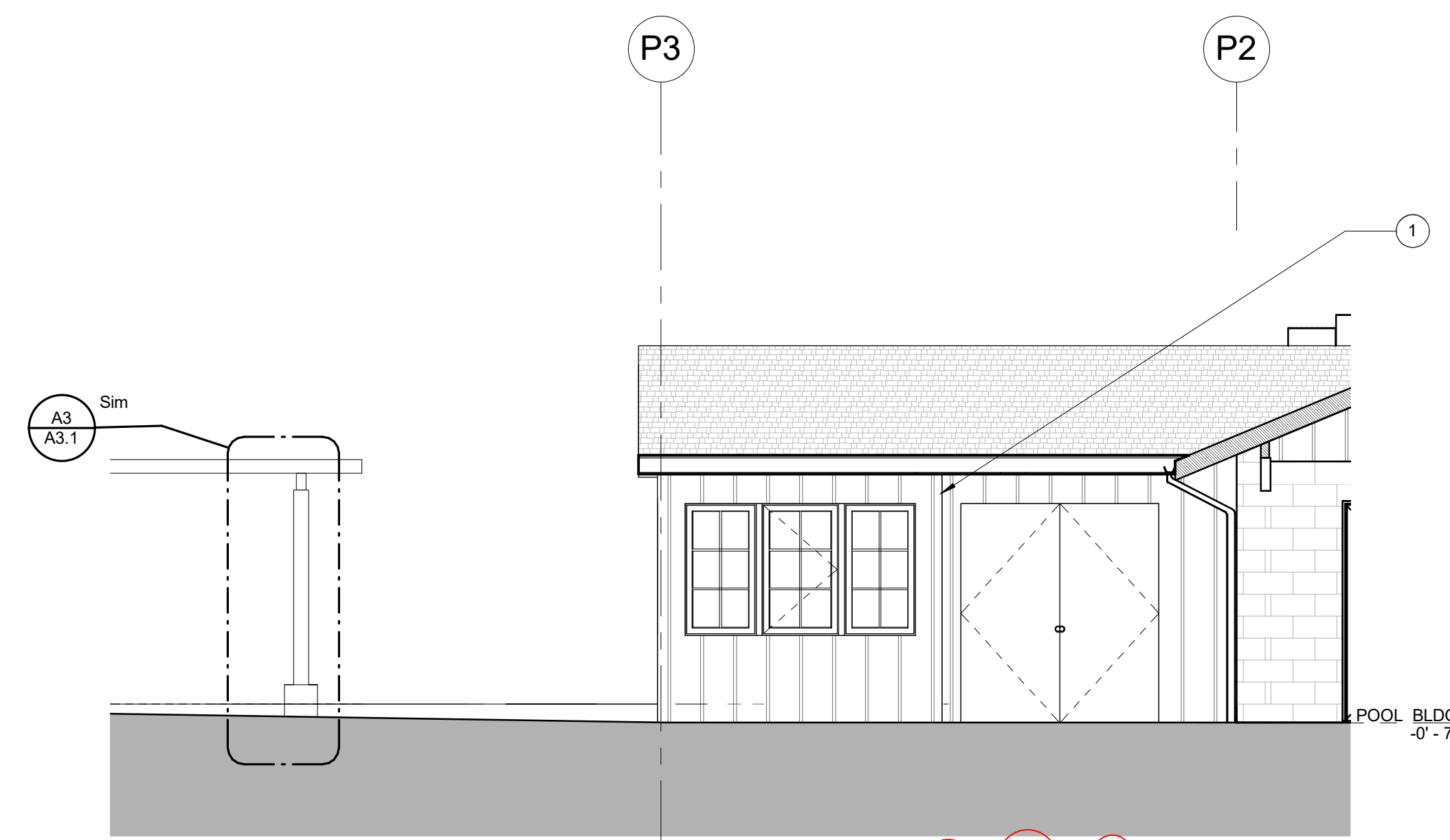
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- 2 PAINT ALL EAVES COLOR P3 TYP.
- 3 PAINT ALL FACIA COLOR P8 TYP.
- 4 VERIFY ALL EXISTING ELEVATION DATUMS IN THE FIELD.
- 5 WINDOW AND DOOR CASING NOT SHOWN SEE DETAILS AND INTERIOR ELEVATIONS

KEY NOTES

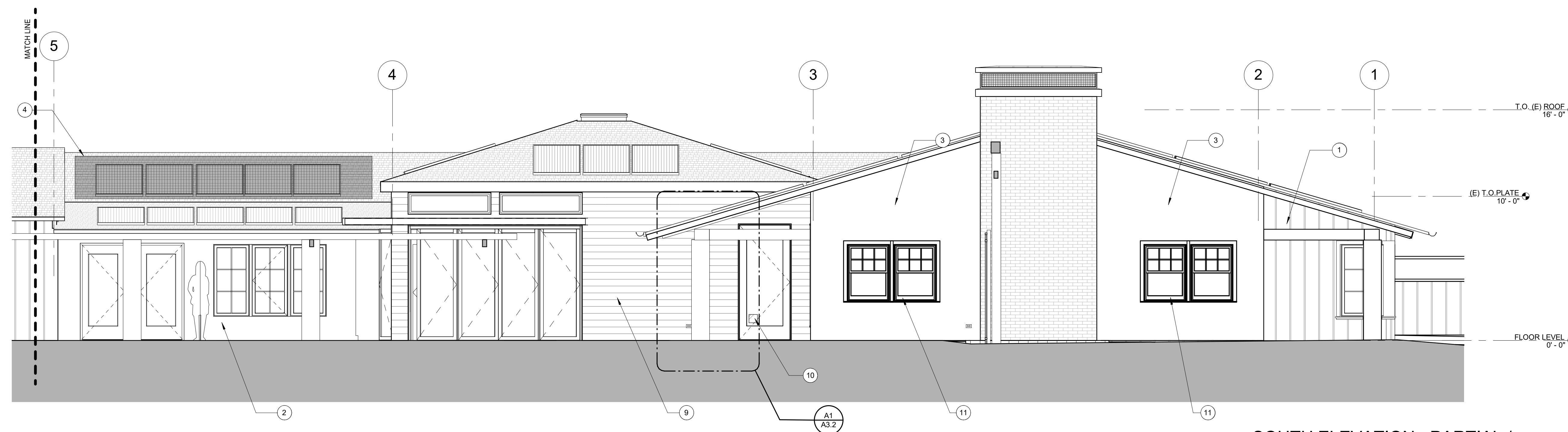
- 1 FIBER CEMENT BOARD AND BATTEN
- 2 EXTERIOR PLASTER FINISH
- 3 EXISTING EXTERIOR PLASTER FINISH
- 4 FUTURE SOLAR PANEL LOCATION
- 5 ASPHALT SHINGLE ROOFING
- 6 CORRUGATED ROOFING
- 7 CHIMNEY CAP AT PREFABRICATED FIREPLACE, SIMILAR TO SPECIFICATION AT (E) FIREPLACE. CONFIRM REQUIREMENTS WITH FIREPLACE MANUFACTURER
- 8 NATURAL WOOD MANTEL - MAX DEPTH 8", OFOL, COORDINATE BACKING REQUIRED
- 9 HORIZONTAL FIBER CEMENT SIDING, SHIPLAP, PAINTED P12
- 10 COORDINATE SIGNAGE WITH ARCHITECT, COLOR LOCATION AND REQUIREMENTS
- 11 (E) WINDOWS, PAINT TO MATCH NEW CLAD WINDOWS, BRONZE



SOUTH ELEVATION - PARTIAL / WEST
SCALE: 1/4" = 1'-0" **B2**



CERT STORAGE - NORTH ELEVATION
SCALE: 1/4" = 1'-0" **B1**



SOUTH ELEVATION - PARTIAL / EAST
SCALE: 1/4" = 1'-0" **A1**

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PROJECT NO. **19004**
DATE **05.20.2020**
SCALE **1/4" = 1'-0"**
SHEET TITLE

ELEVATIONS

SHEET NO. **A2.2**

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- GENERAL NOTES
- 1 PAINT ALL EXTERIOR WALLS P8. TYP. EXCEPT AS NOTED
 - 2 PAINT ALL EAVES COLOR P3 TYP.
 - 3 PAINT ALL FACIA COLOR P8 TYP.
 - 4 VERIFY ALL EXISTING ELEVATION DATUMS IN THE FIELD.
 - 5 WINDOW AND DOOR CASING NOT SHOWN SEE DETAILS AND INTERIOR ELEVATIONS

KEY NOTES

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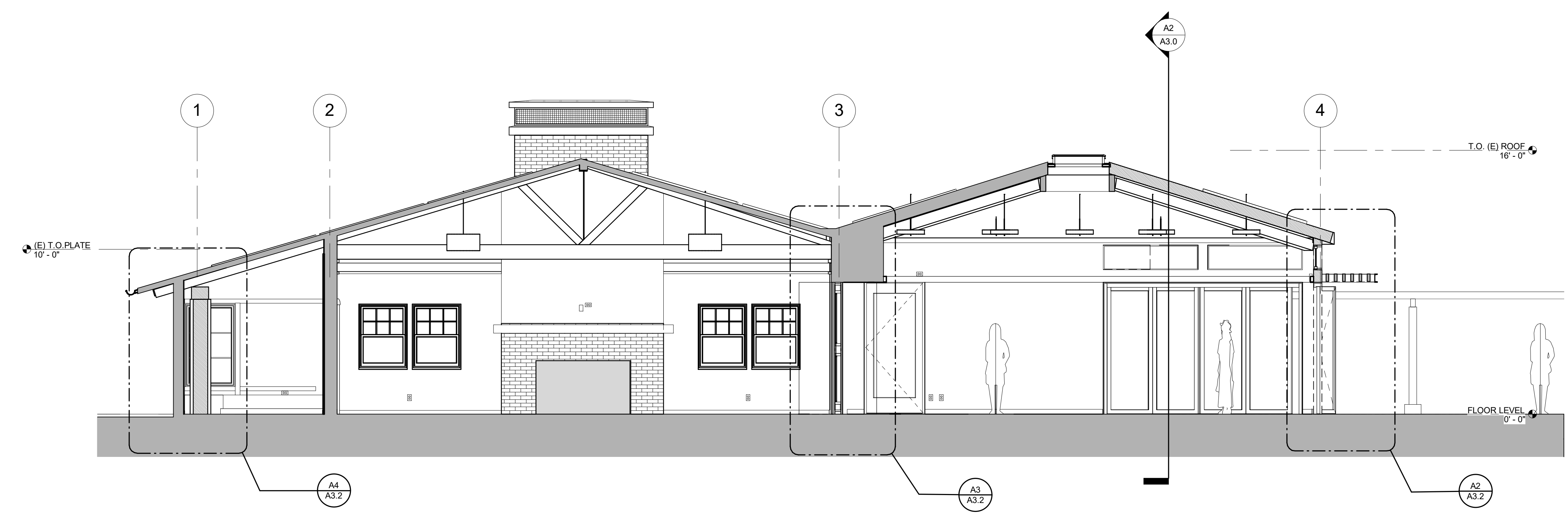
DATE	DESCRIPTION	NO.
05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
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PROJECT NO. 19004
DATE 12.16.2019
SCALE 1/4" = 1'-0"
SHEET TITLE

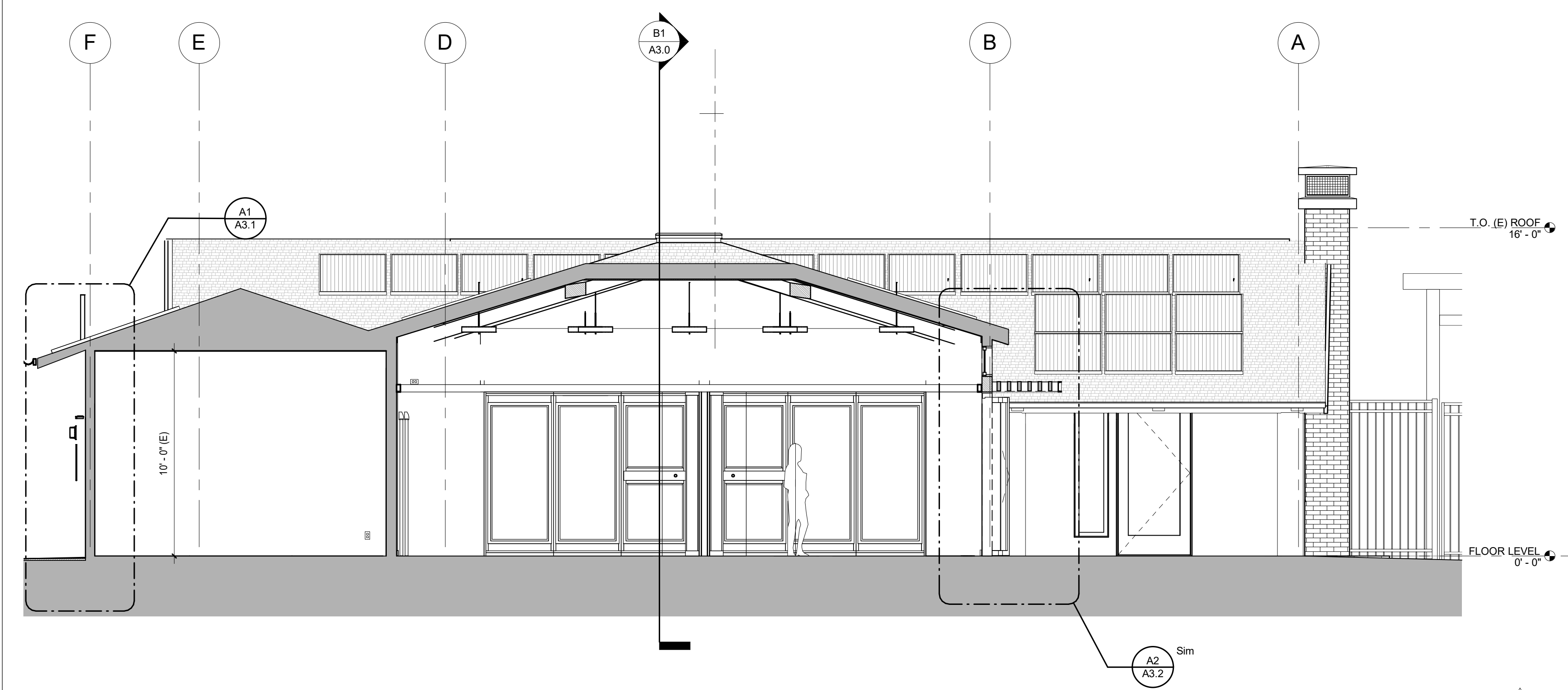
SECTIONS

SHEET NO. **A3.0**

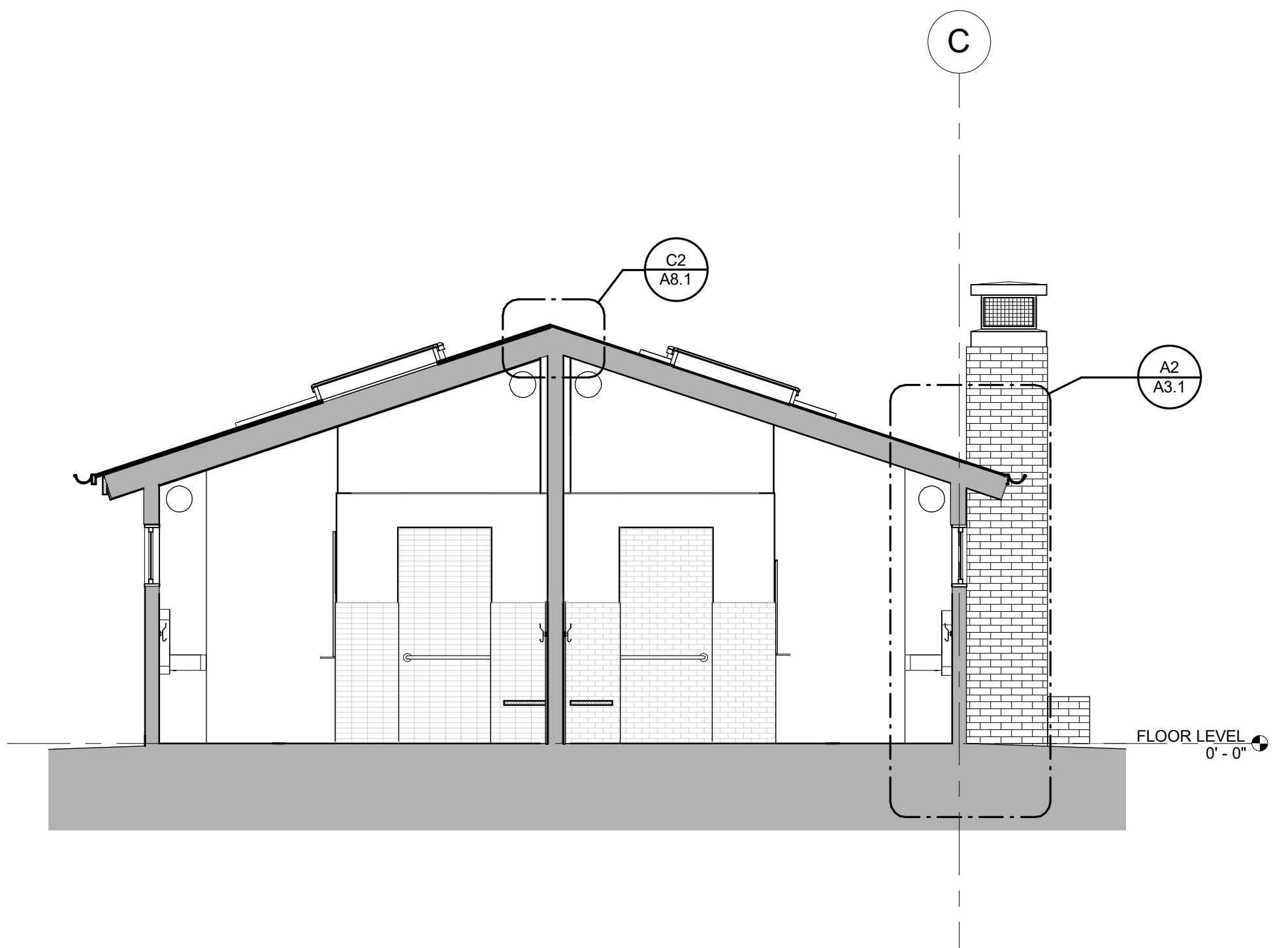
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**SECTION - FOUNDERS ROOM /
LEGENDS ROOM**
SCALE: 1/4" = 1'-0" **B1**



**SECTION - ENTRY / LEGENDS
ROOM**
SCALE: 1/4" = 1'-0" **A2**



SECTION - RESTROOMS
SCALE: 1/4" = 1'-0" **A1**

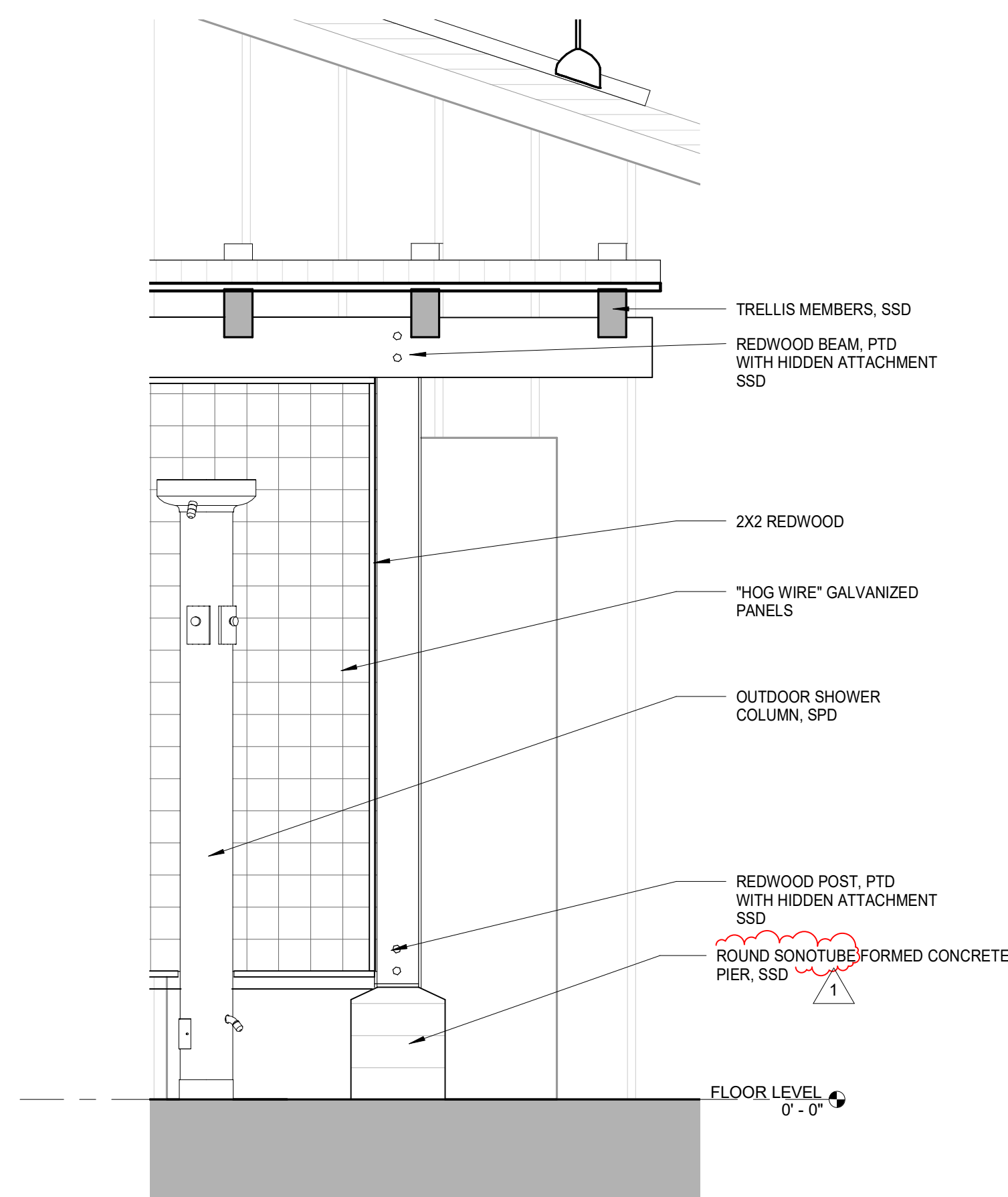
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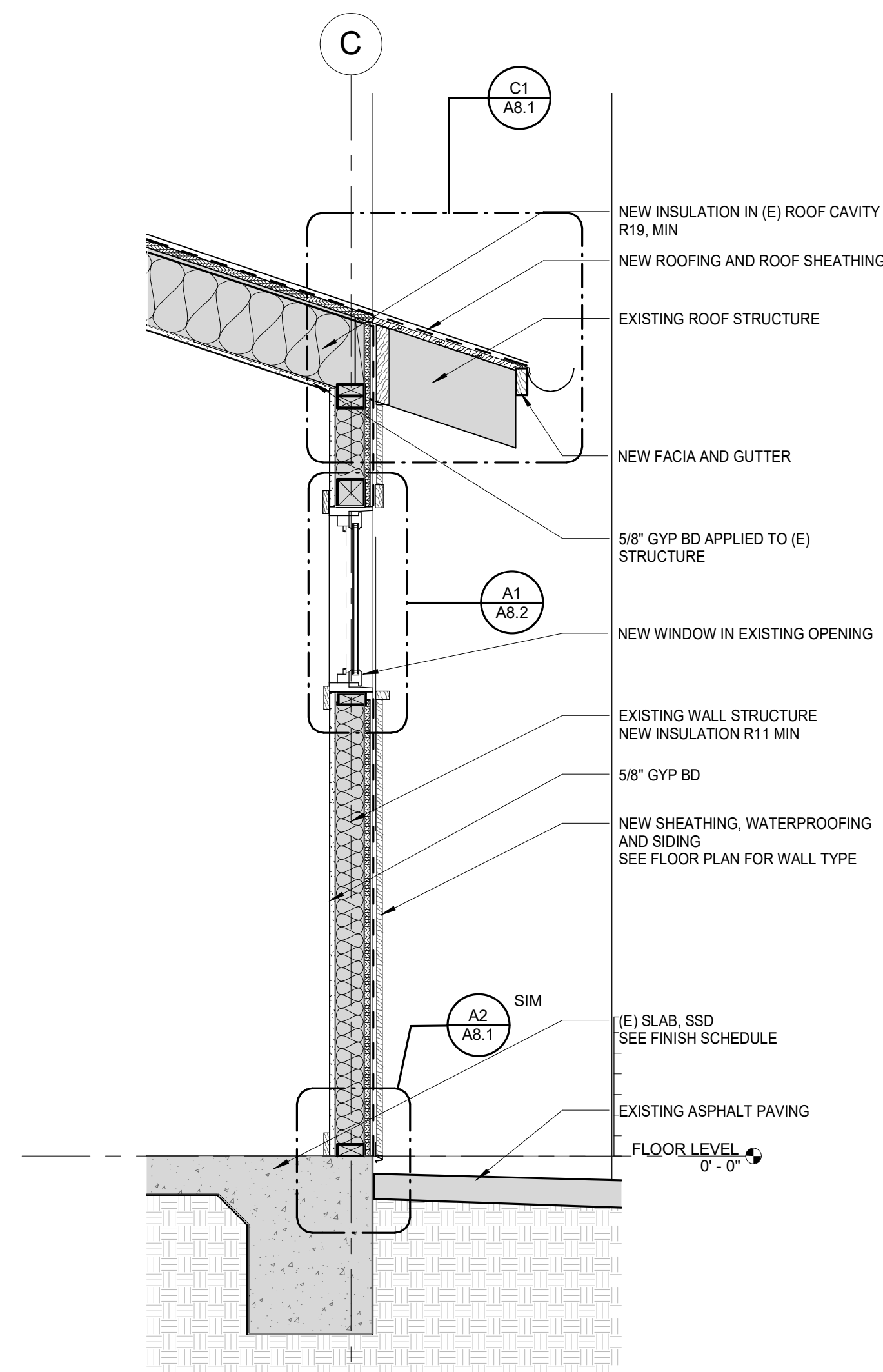
PROJECT NO.	19004
DATE	12.16.2019
SCALE	3/4" = 1'-0"
SHEET TITLE	WALL SECTIONS

SHEET NO. **A3.1**



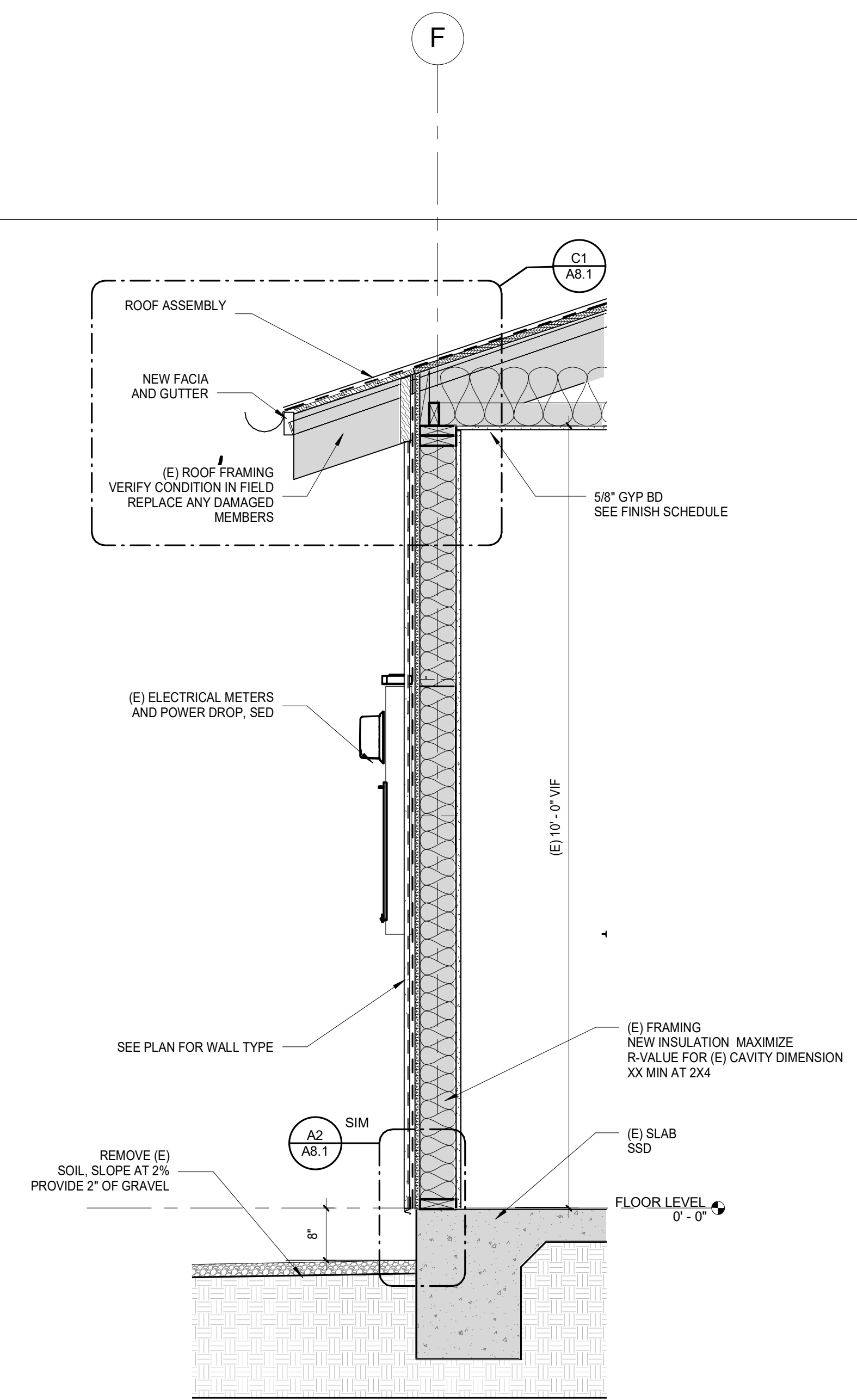
**OUTDOOR SHOWERS -
ENLARGED ELEVATION**
SCALE: 3/4" = 1'-0"

A3



WALL SECTION - RESTROOMS
SCALE: 3/4" = 1'-0"

A2



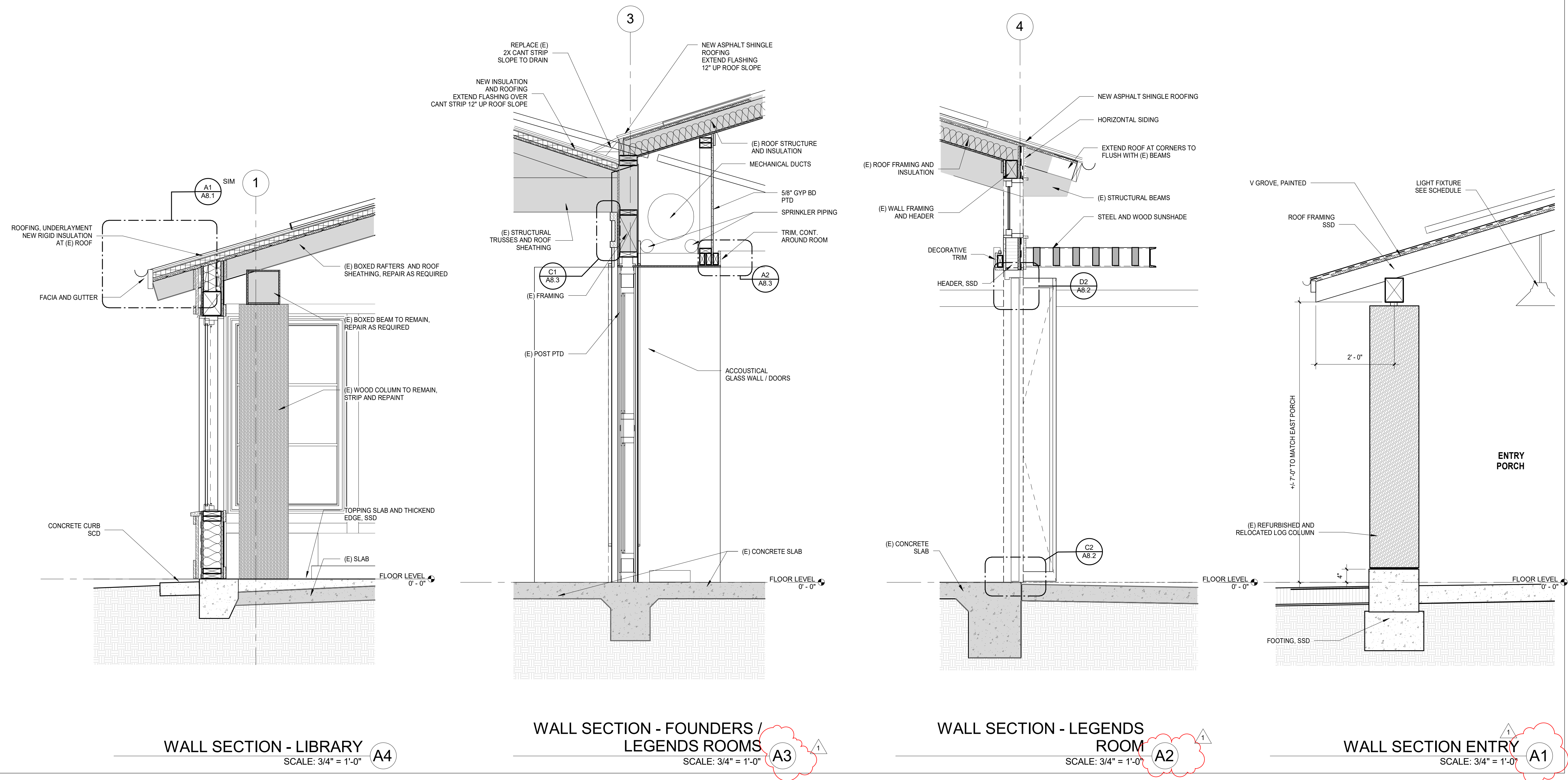
**WALL SECTION -
STORAGE/FLEX USE AND KITCHEN**
SIM
SCALE: 3/4" = 1'-0"

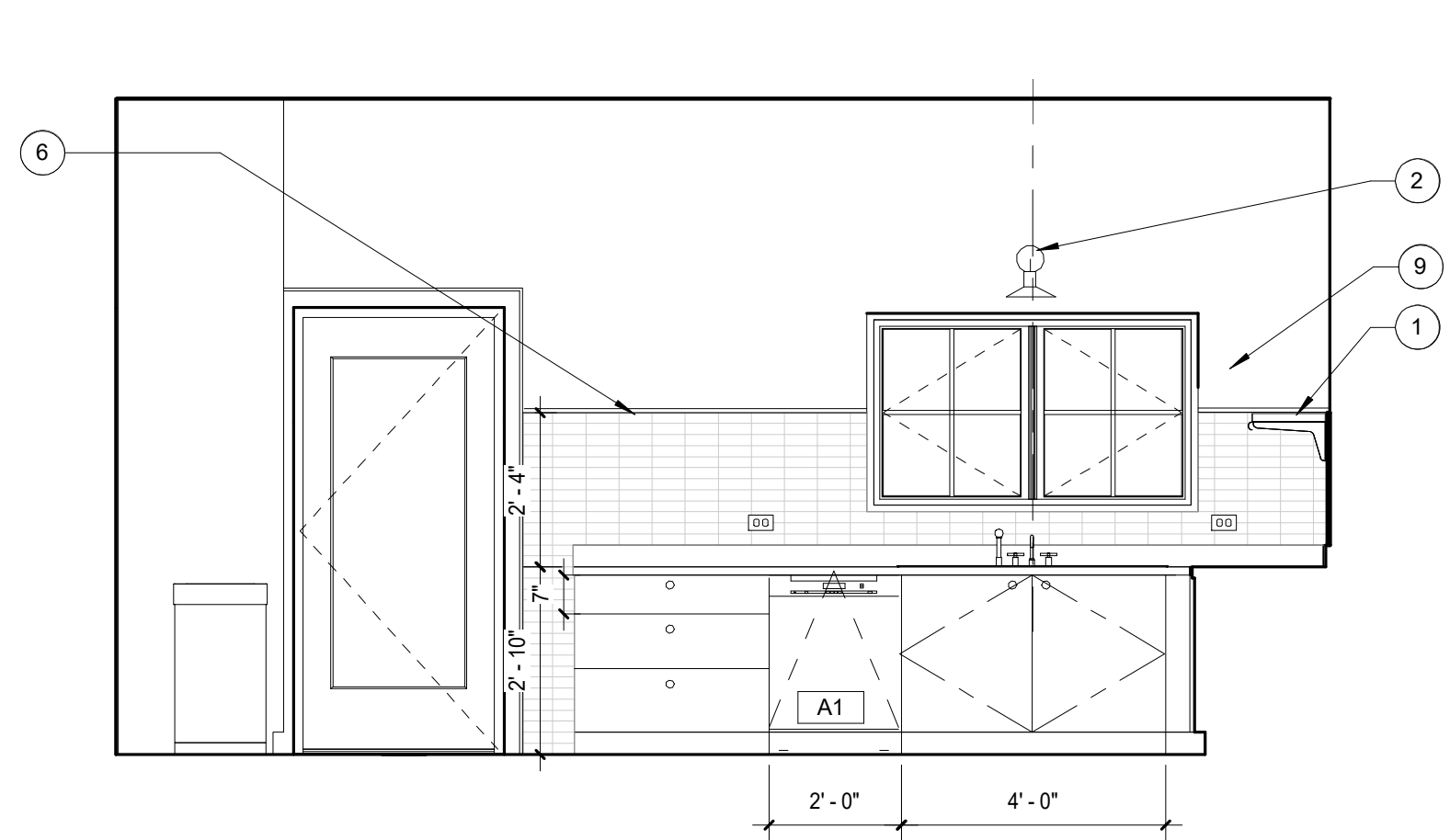
A1



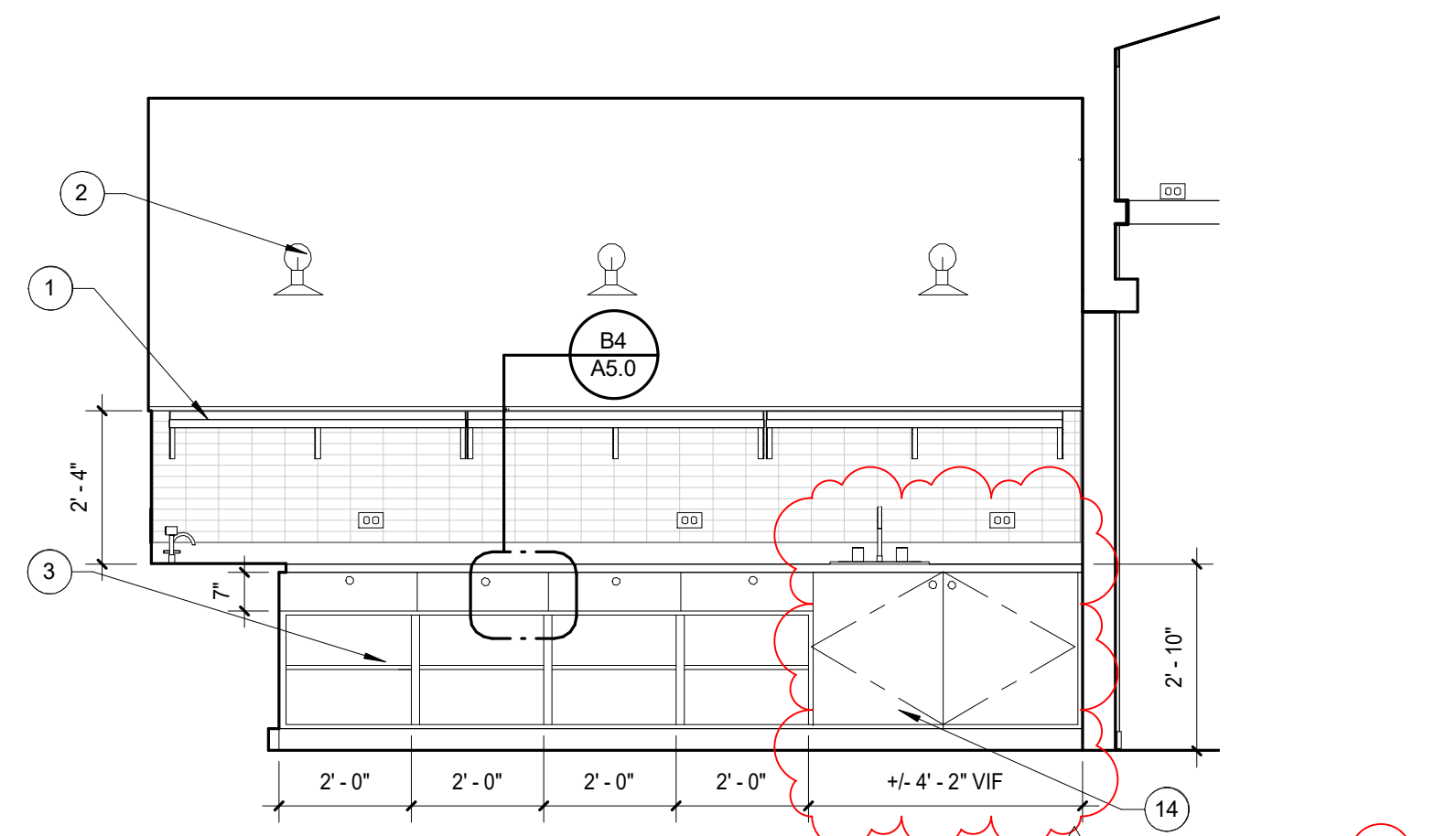
DATE	DESCRIPTION	NO.
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PROJECT NO.	19004
DATE	12.16.2019
SCALE	3/4" = 1'-0"
SHEET TITLE	WALL SECTIONS
SHEET NO.	A3.2

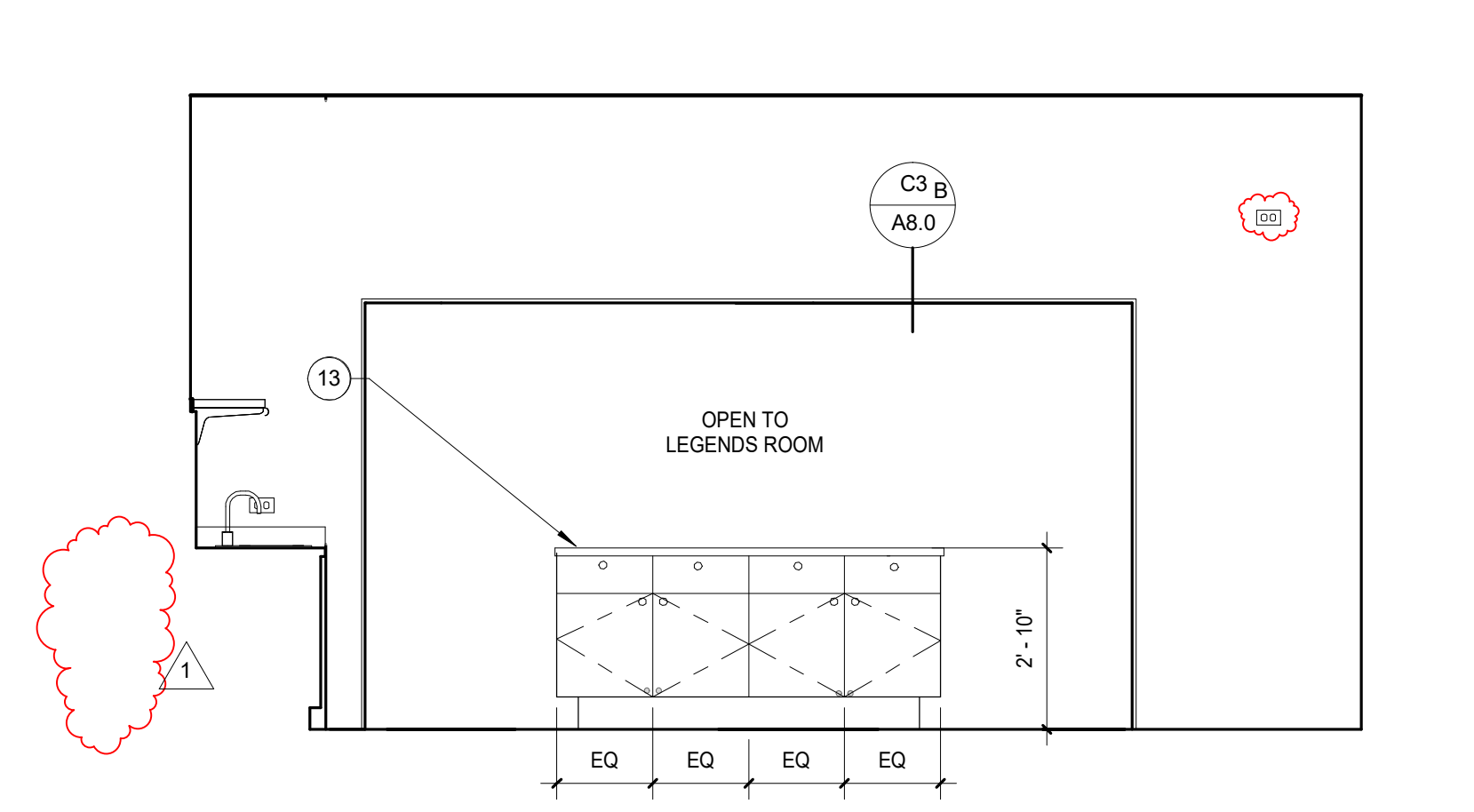




KITCHEN 114- NORTH
SCALE: 3/8" = 1'-0" **C3**

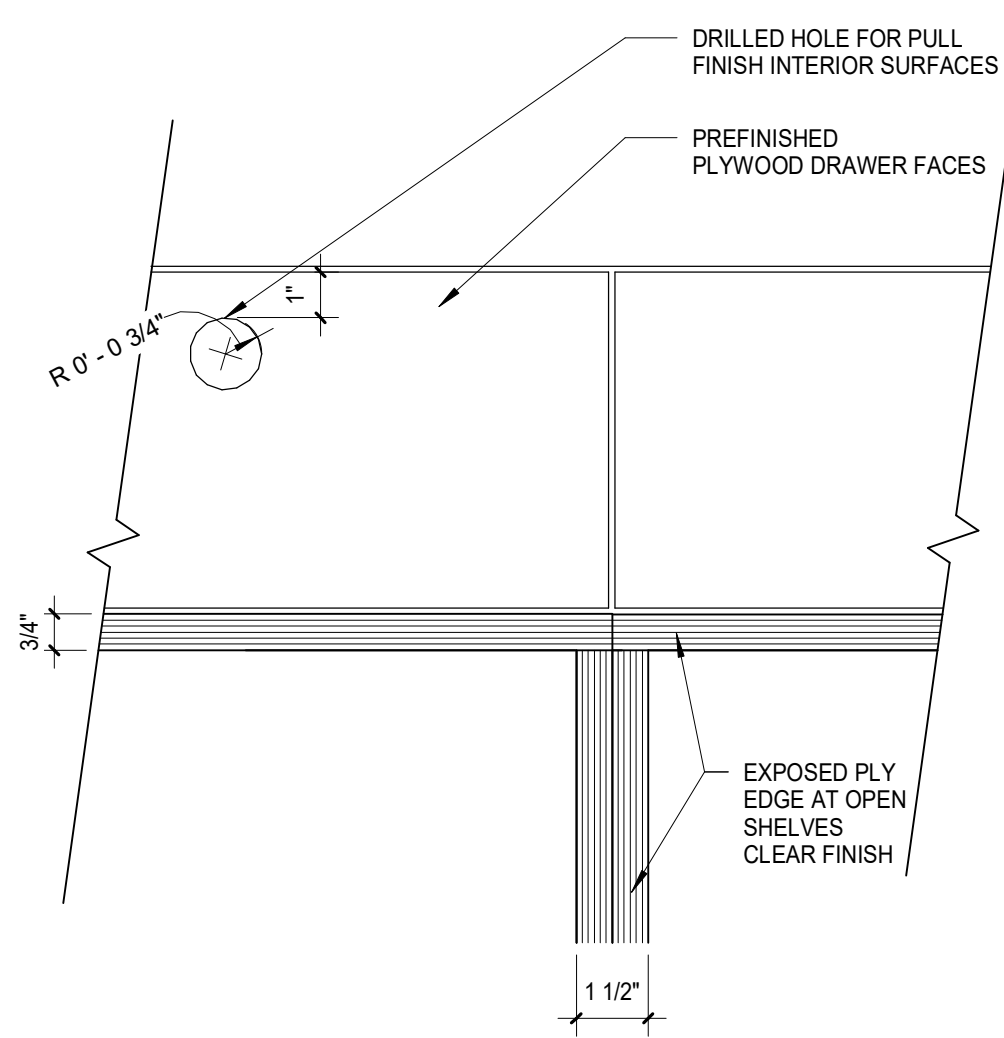


KITCHEN 114- EAST
SCALE: 3/8" = 1'-0" **C2**

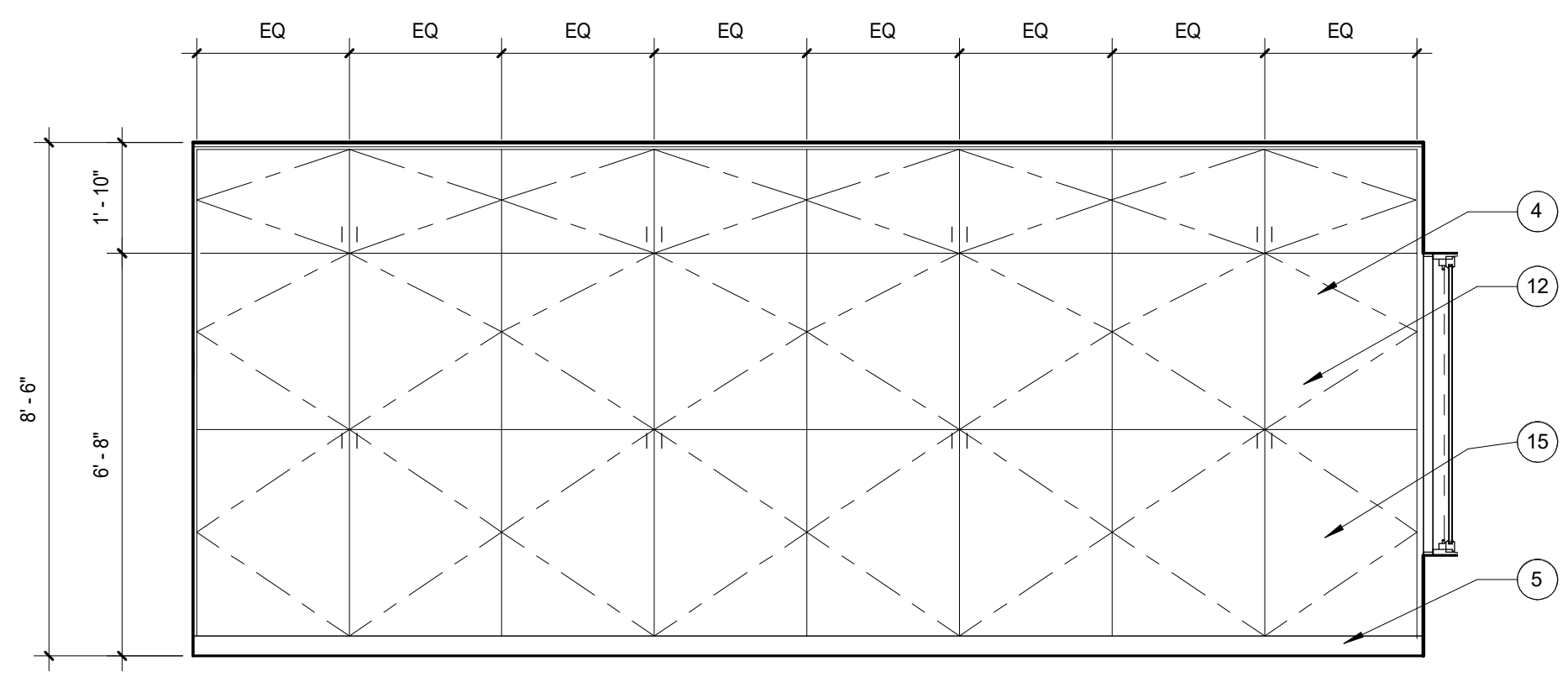


KITCHEN 114- SOUTH
SCALE: 3/8" = 1'-0" **C1**

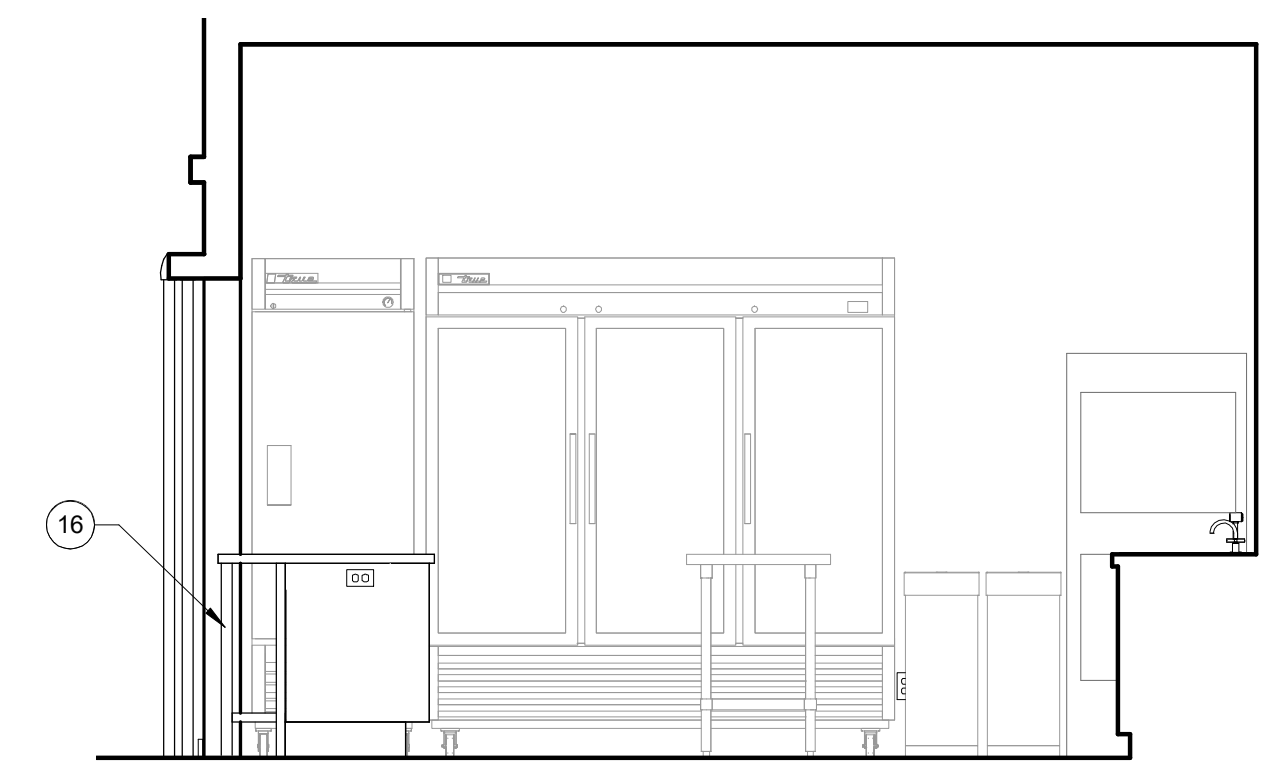
- KEY NOTES**
- 1 SS SHELVEING, OWNER PURCHASED CONTRACTOR INSTALLED
 - 2 SCONES OR WALL MOUNTED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS AND RCP
 - 3 OPEN SHELVEING. ADJUSTABLE SHELVES
 - 4 ENCLOSED CABINETS, ADJUSTABLE SHELVES, PROVIDE 1 SHELF PER FOOT OF CABINET HEIGHT
 - 5 NO KICK AT CABINET. 1X BASEBOARD ABOVE
 - 6 WOOD TRIM, PAINT TO MATCH WALL ABOVE
 - 7 FIXED PLAM SHELVES / COUNTER. PLAM SQUARE EDGE 1 1/2"
 - 8 SUPPORT BRACKETS 1 1/2" PREFINISHED MULTI PLY WITH EXPOSED EDGE
 - 9 NO CASING THIS WINDOW / DOOR. FLAT 1X AT INSIDE OF JAMB, 1/4" PROUD OF FINISHED TILE
 - 10 PROVIDE GROMMET AT COUNTER / DESK
 - 11 END PANEL AT DESK RETURN. PREFINISHED WOOD PER SCHEDULE
 - 12 PAINTED FULL HEIGHT CABINETS SOLID SURFACE COUNTER
 - 13 BASE KICK TO ATTACH TO DOORS. OPEN CABINET WITH FINISHED FLOOR AT SINK
 - 15 ONE FIXED SHELF LOWER CABINET, 3/4" THICK
 - 16 SOLID WOOD LEGS



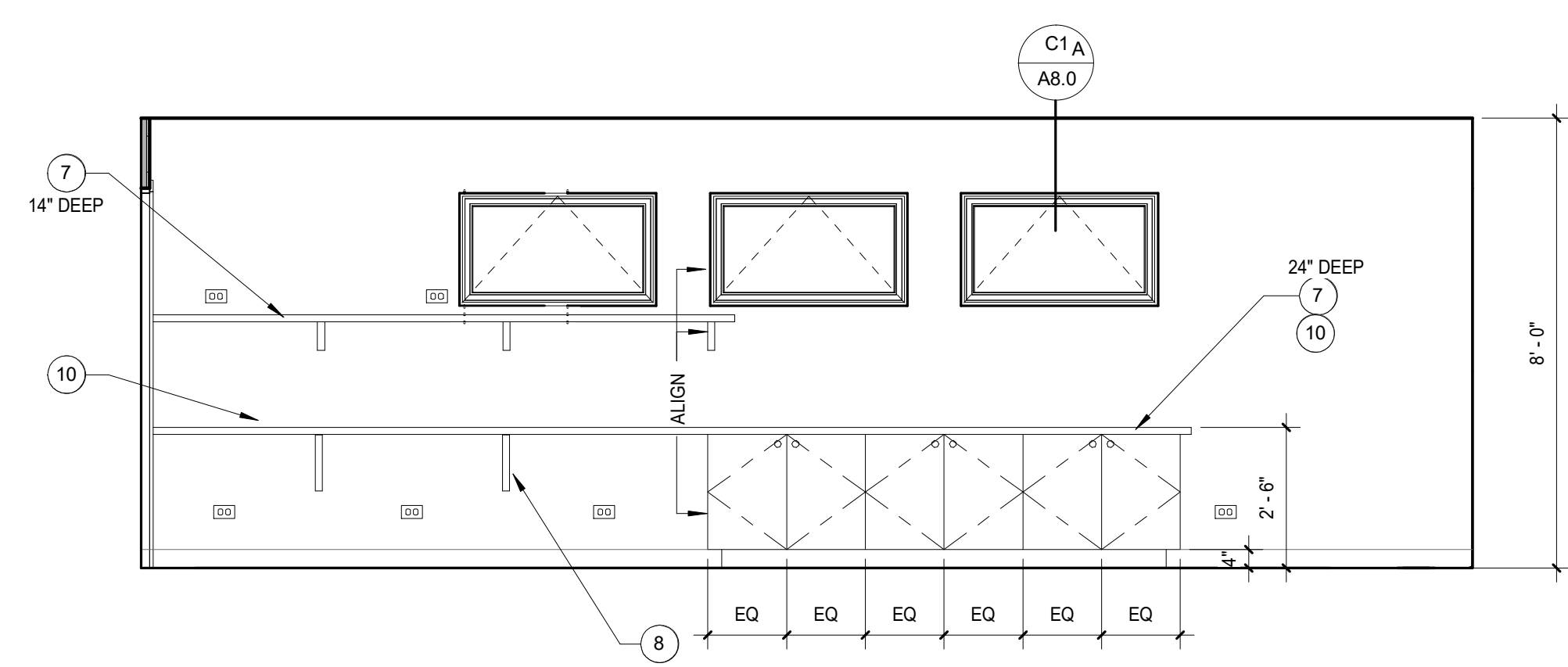
CASEWORK DIMENSIONS
SCALE: 3" = 1'-0" **B4**



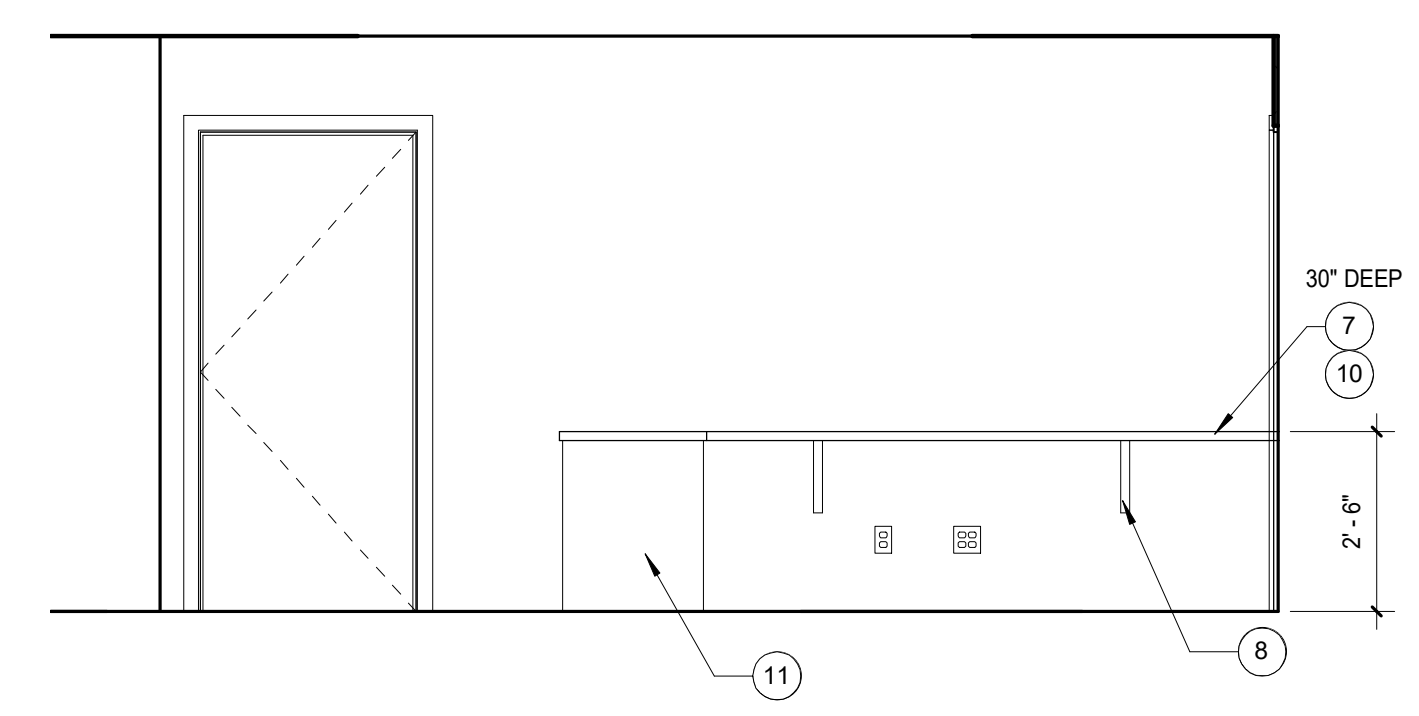
FLEX USE ROOM 116 - EAST
SCALE: 3/8" = 1'-0" **B2**



KITCHEN 114 - WEST
SCALE: 3/8" = 1'-0" **B1**



LEASE OFFICE 110 - NORTH
SCALE: 3/8" = 1'-0" **A2**



LEASE OFFICE 110 SOUTH
SCALE: 3/8" = 1'-0" **A1**

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PROJECT NO. **19004**
DATE **12.16.2019**
SCALE **As indicated**
SHEET TITLE

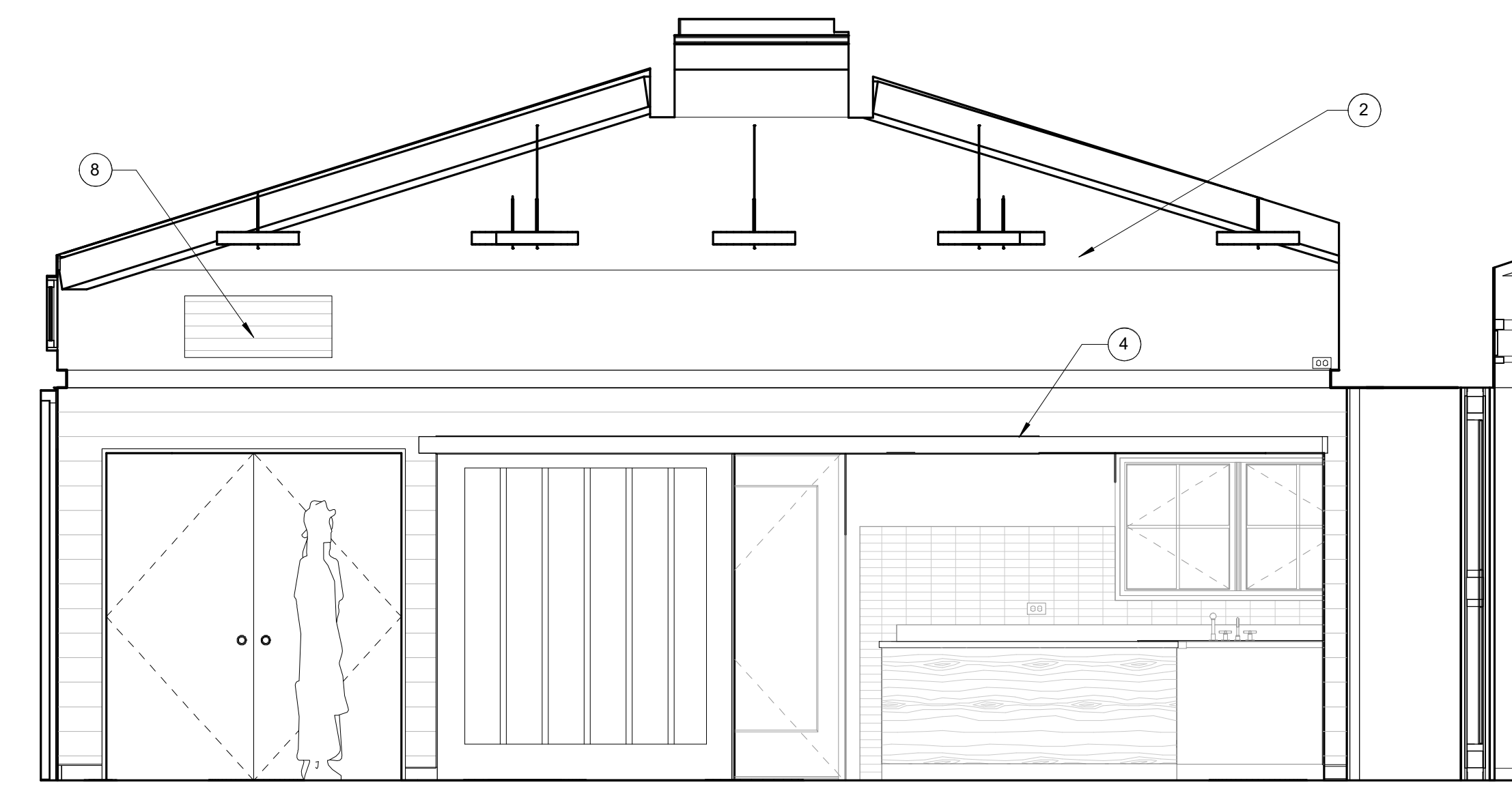
**INTERIOR
ELEVATIONS**
SHEET NO.

A5.0

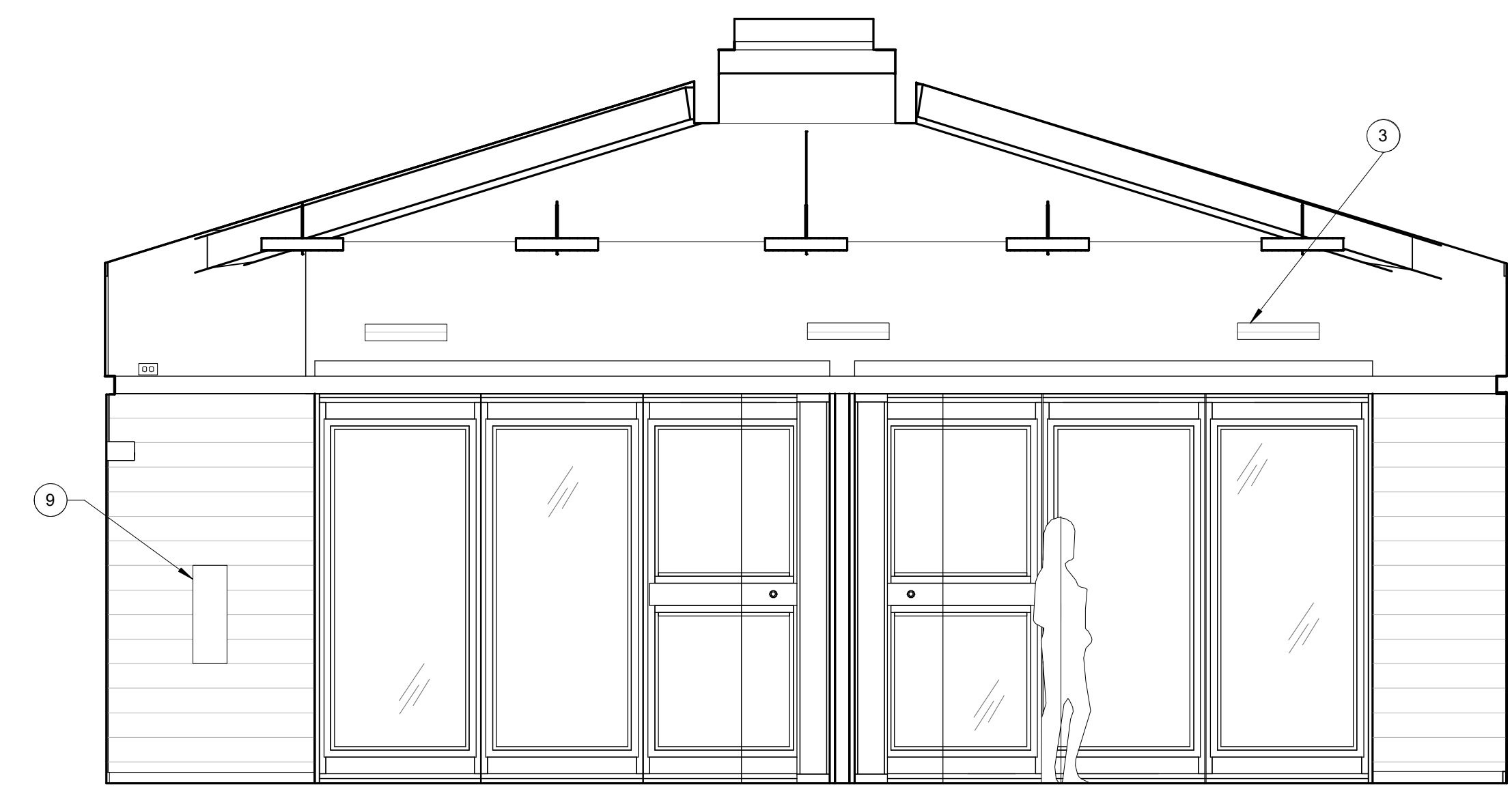
- KEY NOTES**
- 1 1X4 BASEBOARD
 - 2 1X4 FLAT TRIM
 - 3 MECHANICAL SUPPLY GRILLE, FINISH TO MATCH WALL
 - 4 DOUBLE BARN DOOR TRACK
 - 5 WALL MOUNTED ILLUMINATED EXIT SIGN, SEE LIGHTING SCHEDULE
 - 6 ALIGN DEVICES, TYPICAL
 - 7 PENDANT LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS AND RCP
 - 8 MECHANICAL RETURN GRILLE, GRILLE TO BE FINISHED TO MATCH WALL
 - 9 RECESSED FIRE EXTINGUISHER LOCATION, ARCHITECT TO SELECT



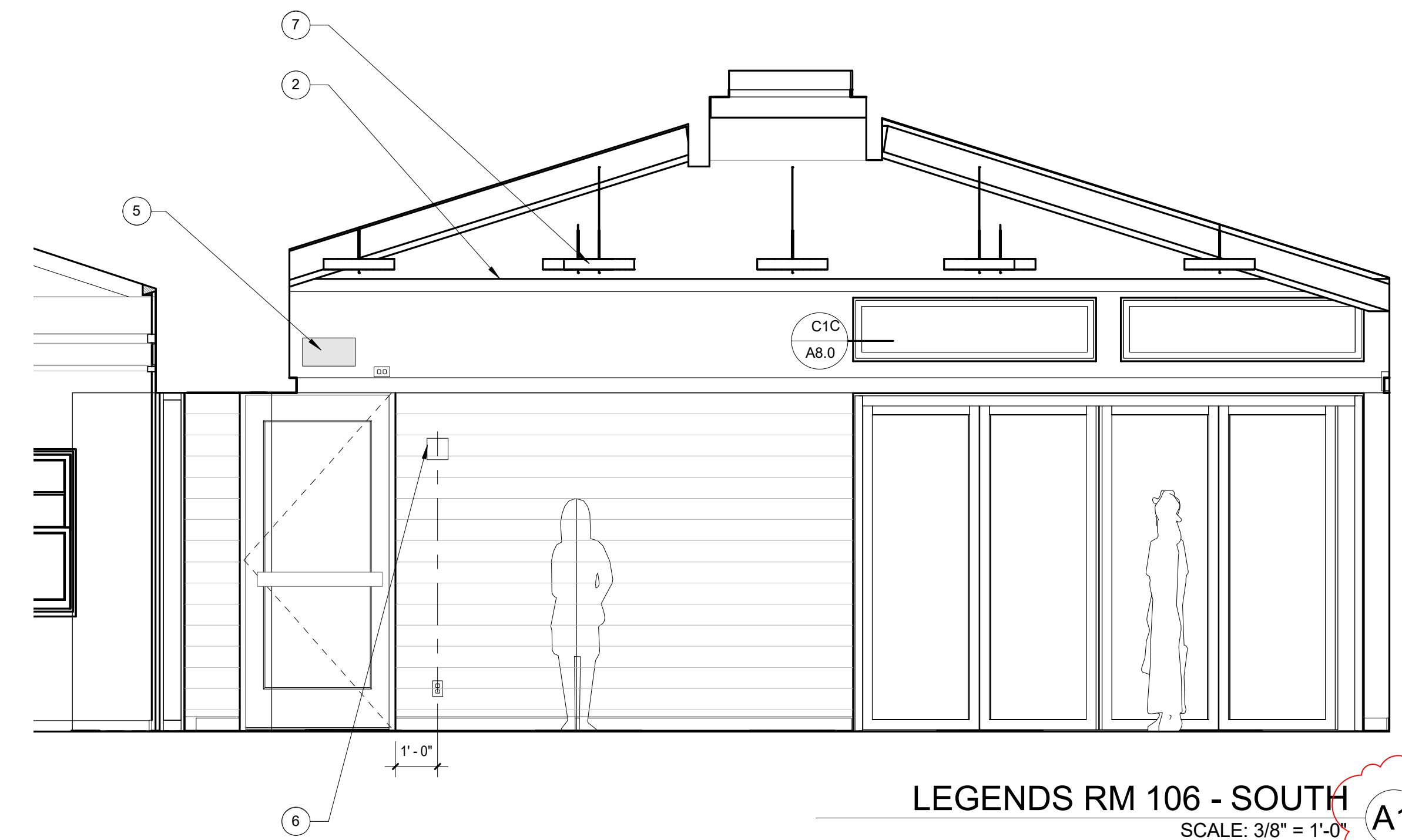
LEGENDS RM 106 - WEST
SCALE: 3/8" = 1'-0" **B2**



LEGENDS RM 106 - NORTH
SCALE: 3/8" = 1'-0" **B1**



LEGENDS RM 106 - EAST
SCALE: 3/8" = 1'-0" **A2**



LEGENDS RM 106 - SOUTH
SCALE: 3/8" = 1'-0" **A1**

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SCALE **3/8" = 1'-0"**

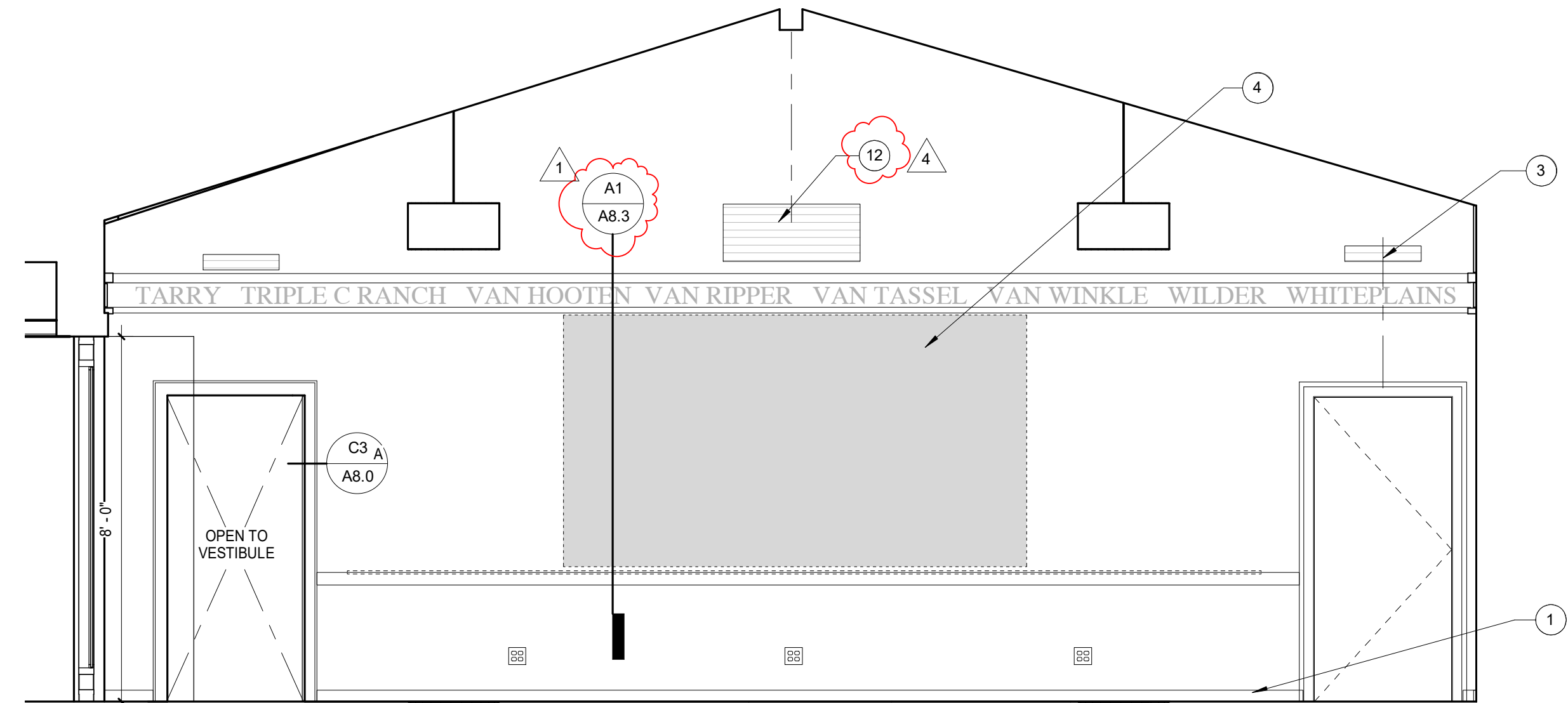
SHEET TITLE **INTERIOR ELEVATIONS**
SHEET NO.

A5.1

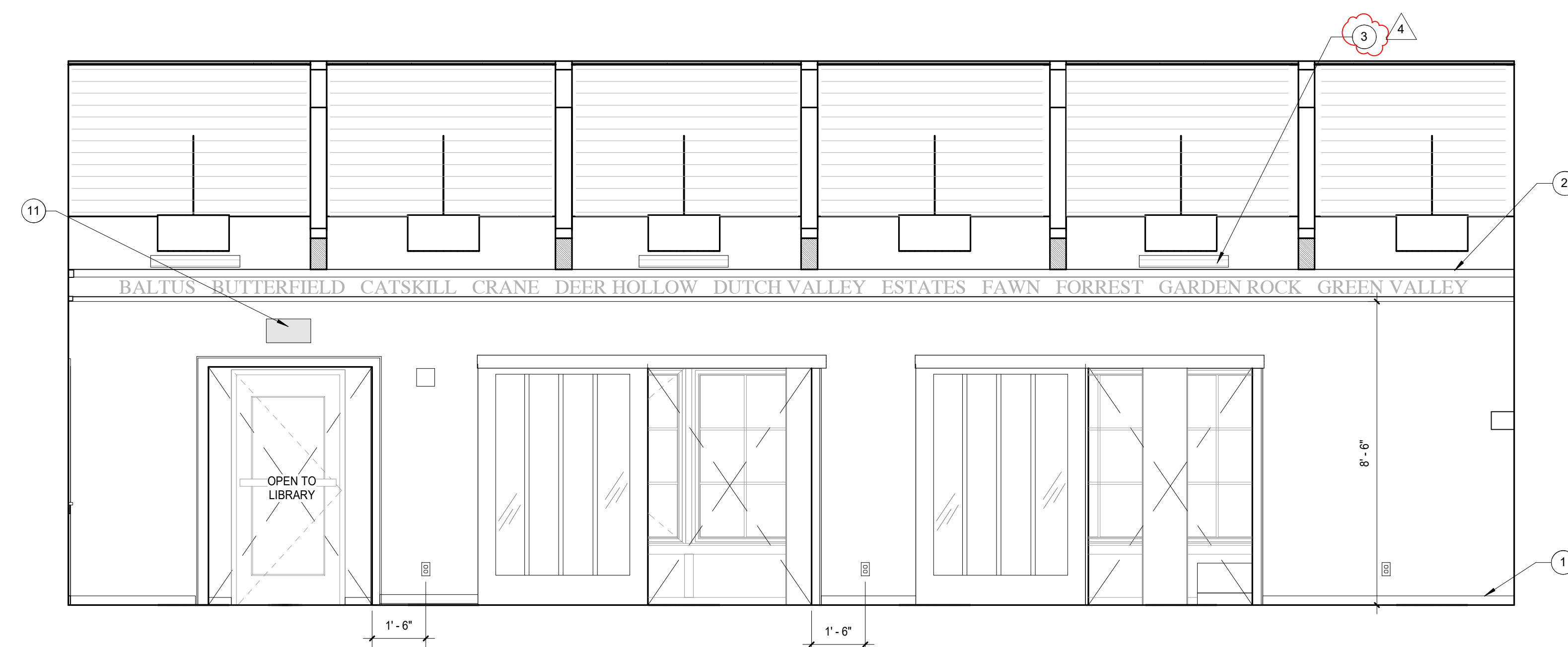
- KEY NOTES**
- 1 1X4 BASEBOARD
 - 2 DECORATIVE WOOD FRIEZE
 - 3 MECHANICAL SUPPLY GRILLE, FINISH TO MATCH WALL
 - 4 RETRACTABLE PROJECTION SCREEN LOCATION, OFOI, PROVIDE BACKING
 - 5 NATURAL WOOD MANTEL - MAX DEPTH 8", OFOI, COORDINATE BACKING REQUIRED
 - 6 FURRED WOOD PANELING, PTD, 3" PROJECTION FROM FACE OF BRICK
 - 7 (E) BRICK TO BE PAINTED
 - 8 WALL MOUNTED TELEVISION LOCATION, OFOI, PROVIDE BACKING
 - 9 (E) EXPOSED CEILING BOARDS, PAINT
 - 10 PENDANT LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS AND RCP
 - 11 WALL MOUNTED ILLUMINATED EXIT SIGN, SEE LIGHTING SCHEDULE
 - 12 MECHANICAL RETURN GRILLE, GRILLE TO BE FINISHED TO MATCH WALL



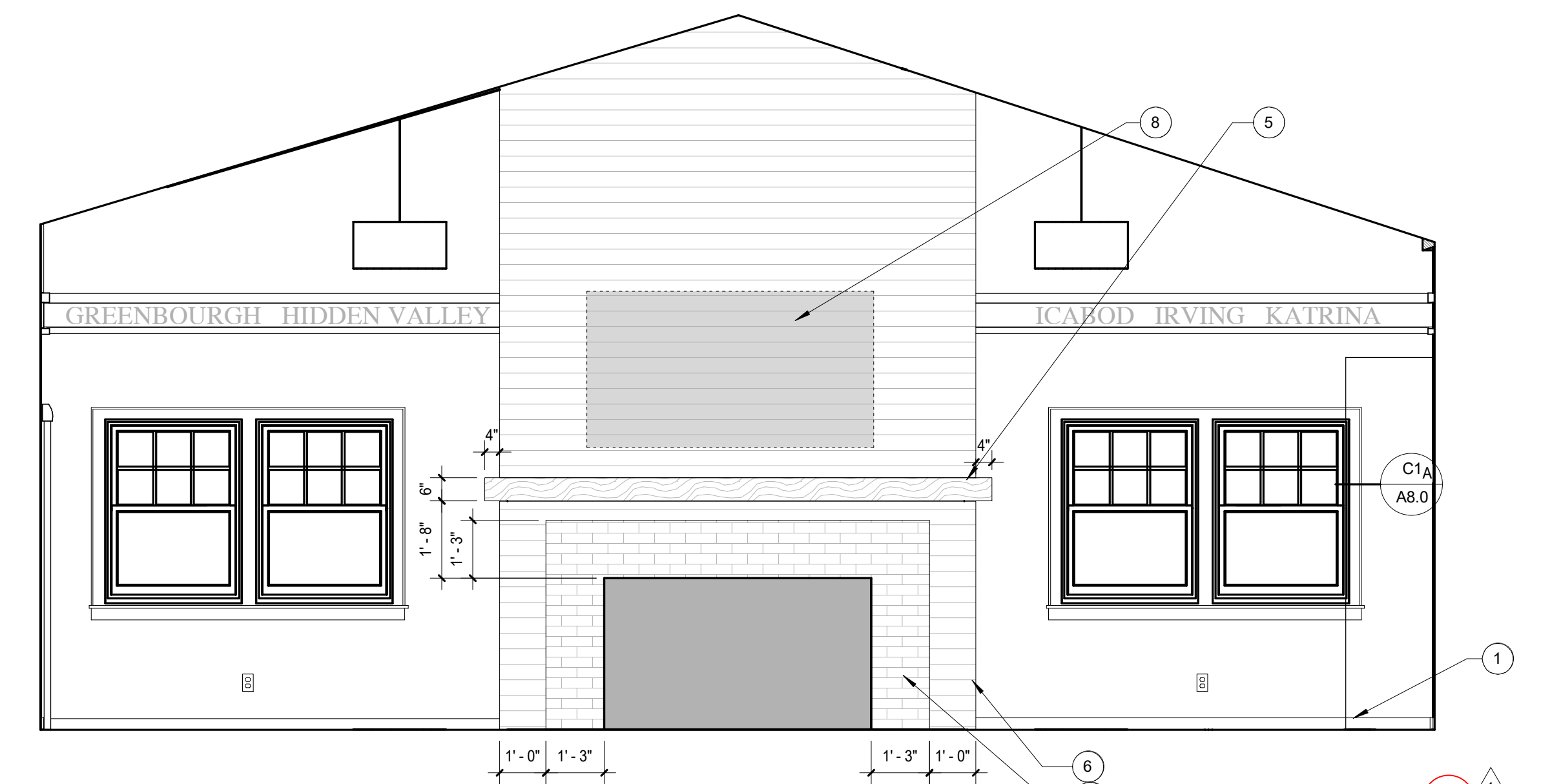
FOUNDERS RM 107 - WEST
SCALE: 3/8" = 1'-0" **B2**



FOUNDERS RM 107 - NORTH
SCALE: 3/8" = 1'-0" **B1**



FOUNDERS RM 107 - EAST
SCALE: 3/8" = 1'-0" **A2**



FOUNDERS RM 107 - SOUTH
SCALE: 3/8" = 1'-0" **A1**

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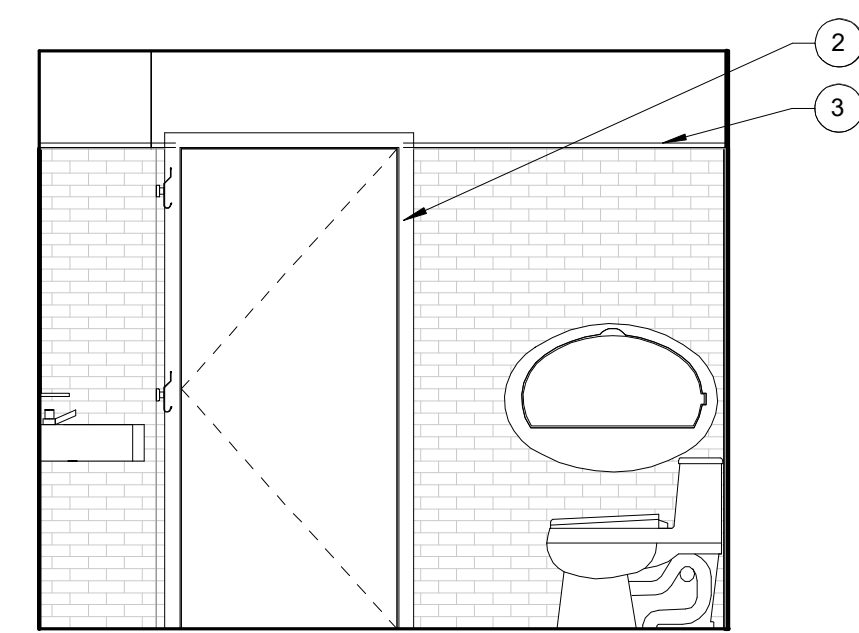
PROJECT NO. **19004**

DATE **12.16.2019**

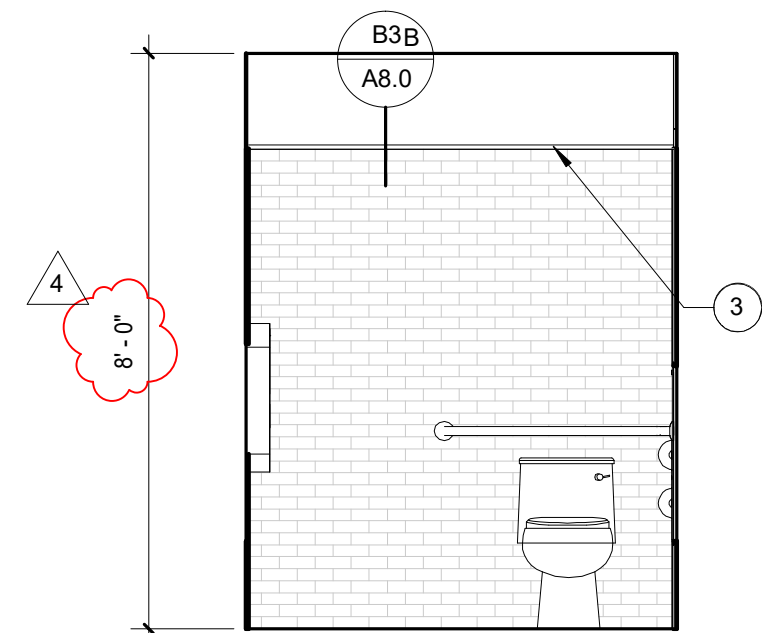
SCALE **3/8" = 1'-0"**

SHEET TITLE **INTERIOR ELEVATIONS**

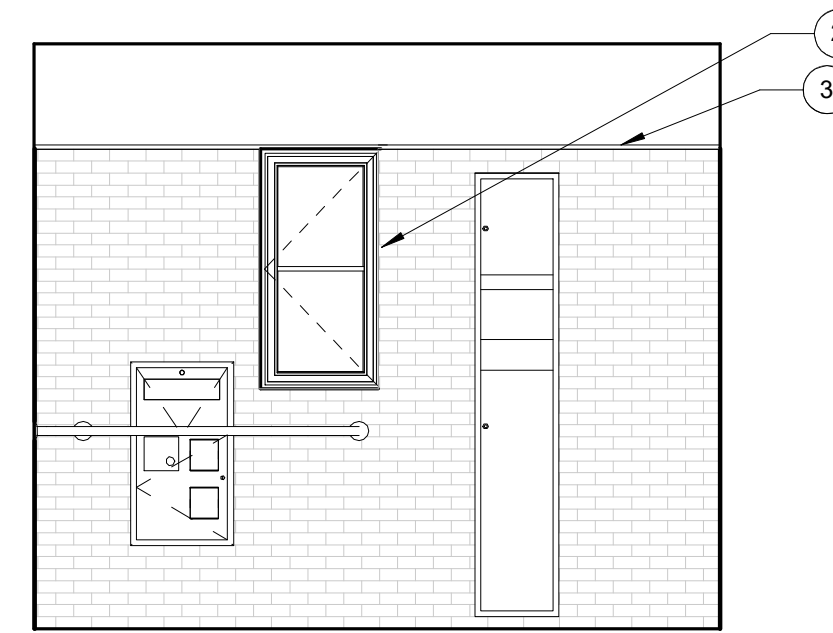
SHEET NO. **A5.2**



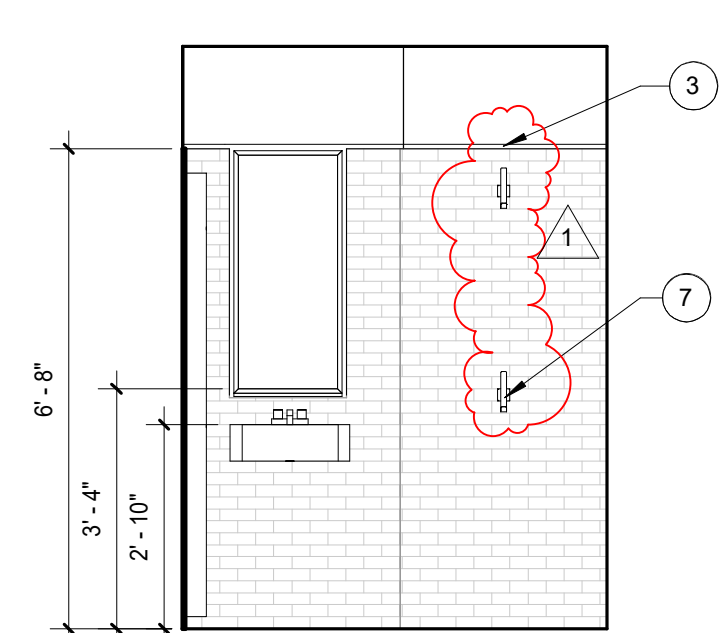
TOILET 111 - SOUTH
SCALE: 3/8" = 1'-0" C4



TOILET 111 - WEST
SCALE: 3/8" = 1'-0" C3

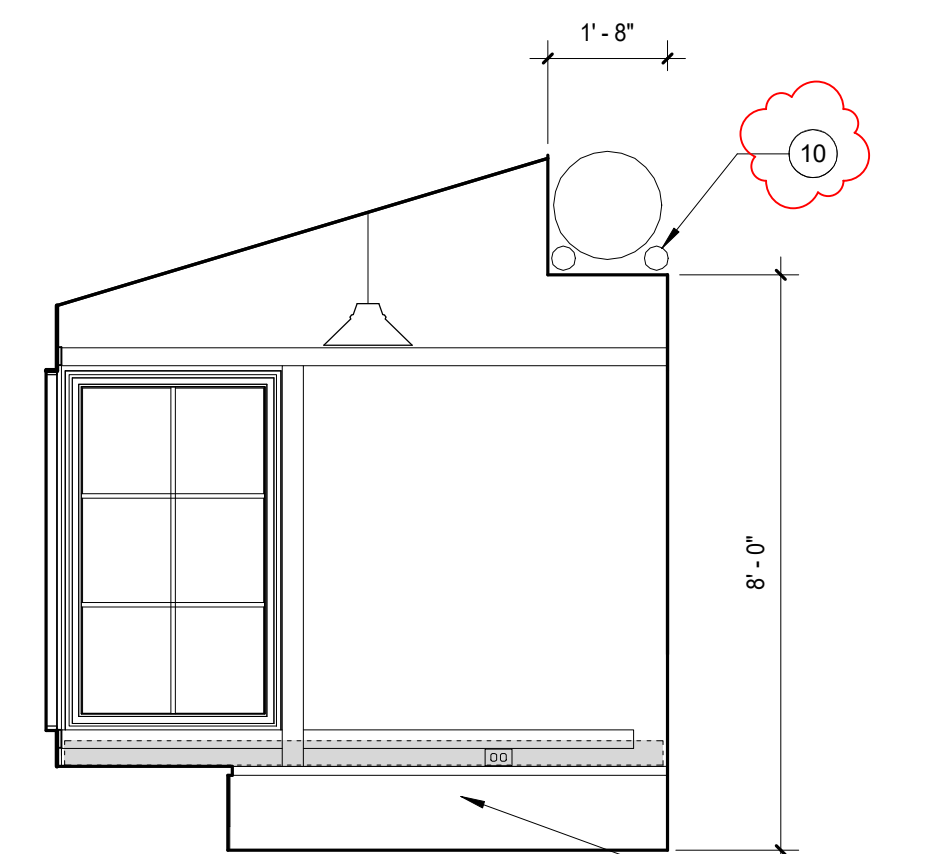


TOILET 111 - NORTH
SCALE: 3/8" = 1'-0" C2

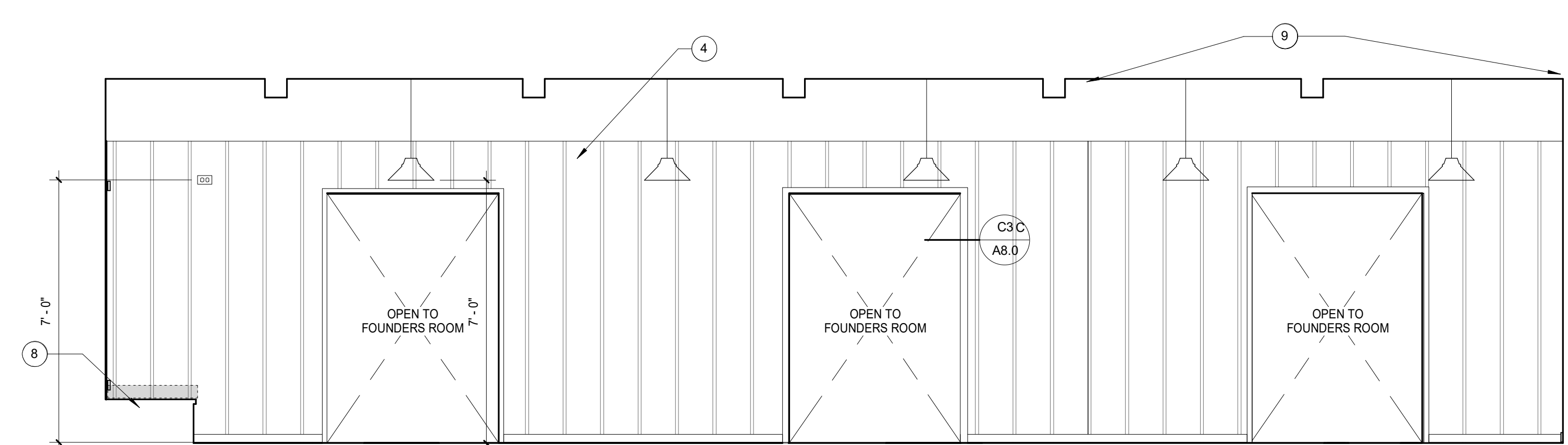


TOILET 111 - EAST
SCALE: 3/8" = 1'-0" C1

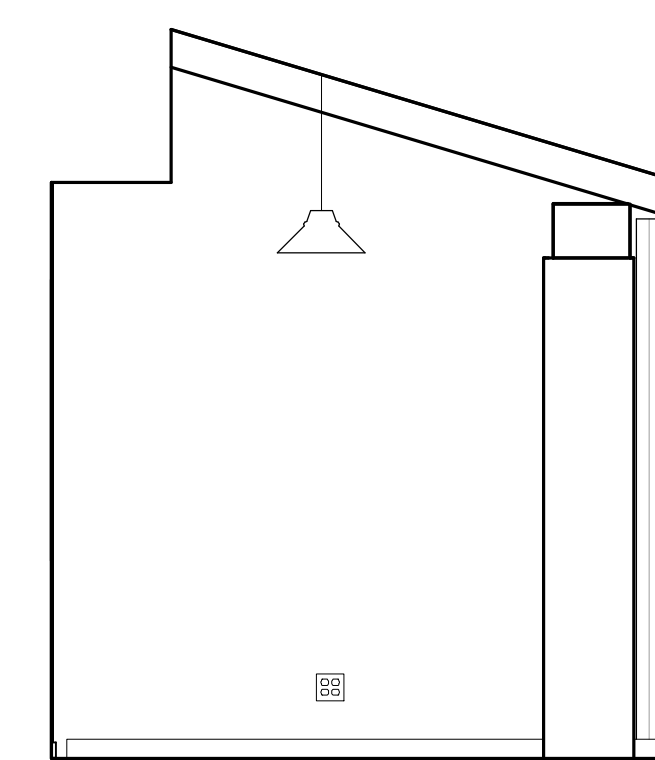
- KEY NOTES
- 1 WOOD COLUMNS, TYP
 - 2 NO CASING THIS WINDOW / DOOR, FLAT 1X AT INSIDE OF JAMB, 1/4" PROUD OF FINISHED TILE
 - 3 WOOD TRIM, PAINT TO MATCH WALL ABOVE
 - 4 (E) BOARD AND BATON TO REMAIN, PAINT
 - 5 1X FLAT STOCK APPLIED TO GYP BD WALL, PTD
 - 6 1X4 BASEBOARD
 - 7 ACCESSIBLE FIXTURE, SEE T1.3
 - 8 WOOD BENCH, WD1, EXPOSED FINISHED PLY TOP SEAT, 4" CUSHIONS
 - 9 BOARD AND BATON TO MATCH (E)
 - 10 SOFFIT FOR MECHANICAL DUCT AND SPRINKLER LINE



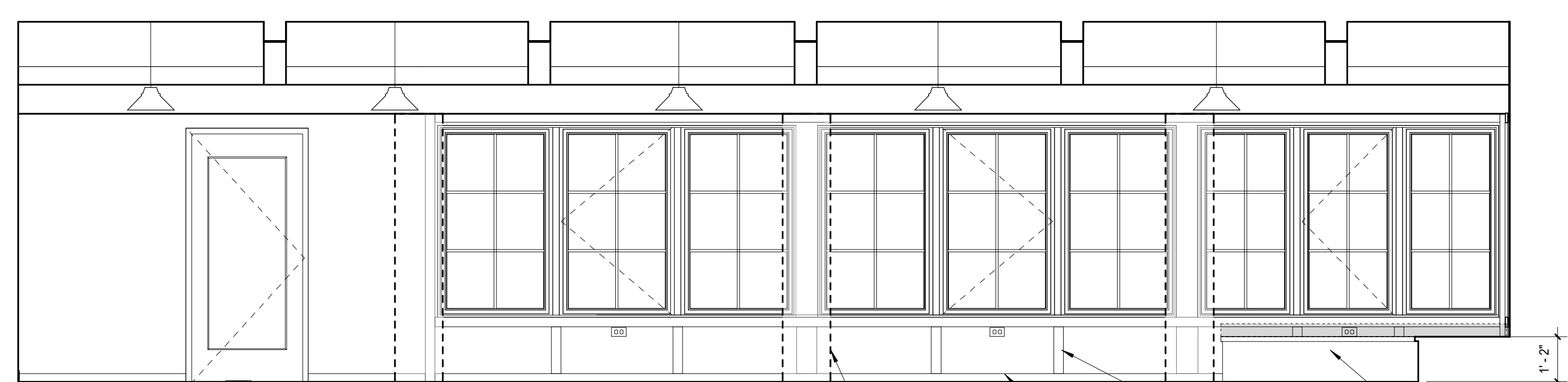
ENCLOSED PORCH RM 108 - SOUTH
SCALE: 3/8" = 1'-0" B2



ENCLOSED PORCH RM 108 - WEST
SCALE: 3/8" = 1'-0" B1



ENCLOSED PORCH RM 108 - NORTH
SCALE: 3/8" = 1'-0" A2



ENCLOSED PORCH RM 108 - EAST
SCALE: 3/8" = 1'-0" A1

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SCALE 3/8" = 1'-0"

SHEET TITLE INTERIOR ELEVATIONS

SHEET NO. A5.3

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- KEY NOTES
- 1 ACCESSIBLE FIXTURE, SEE T.1.3
 - 2 SEE MECHANICAL FOR EXPOSED DUCTING THIS ROOM. DUCTS TO RUN TIGHT TO CEILING/WALL.
 - 3 SCHLUTER "JOLLY" PROFILE AT TOP OF TILE AND OUTSIDE EDGE, TYPICAL AT ROOMS 119 AND 120. FINISH TBD
 - 4 FULL HEIGHT TILE AT SHOWER, TYPICAL WRAP JAMBS
 - 5 (E) WALL AND OPENING

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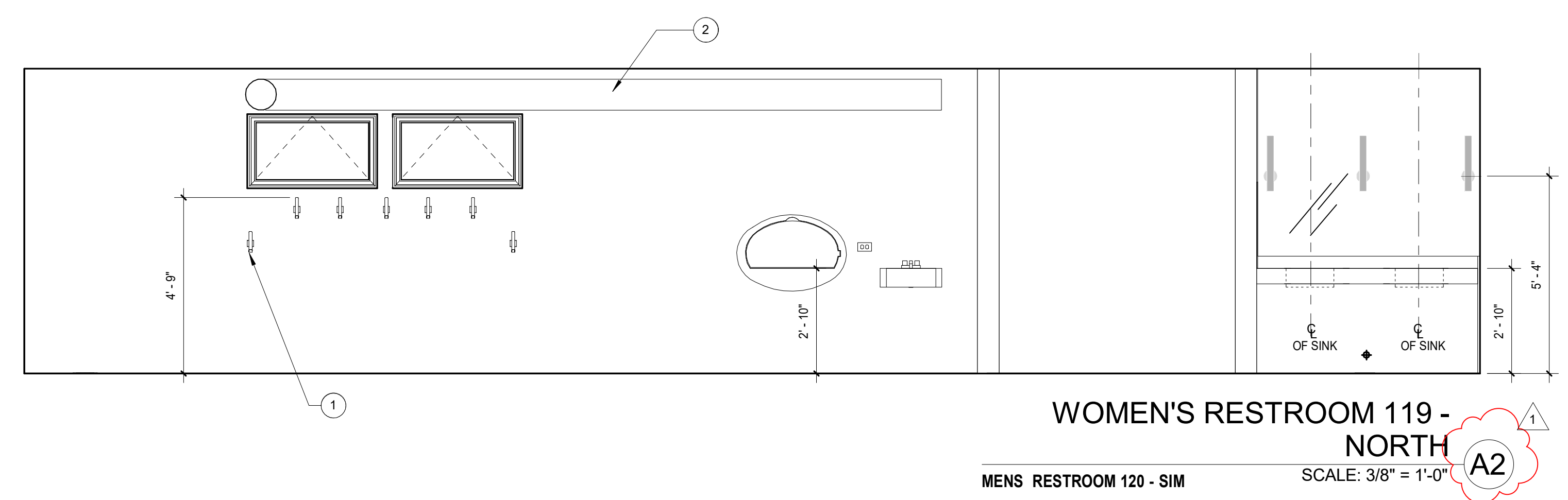
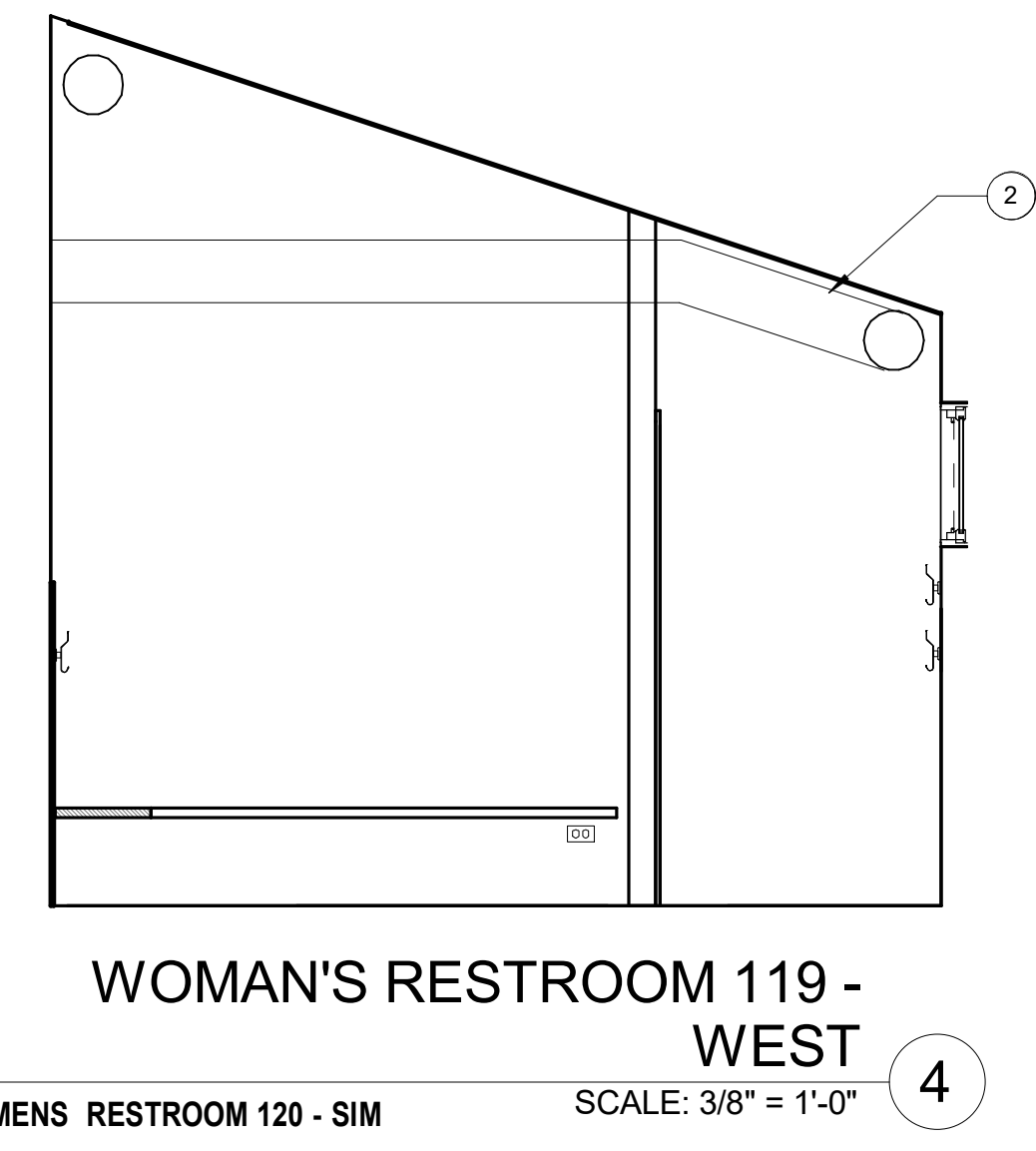
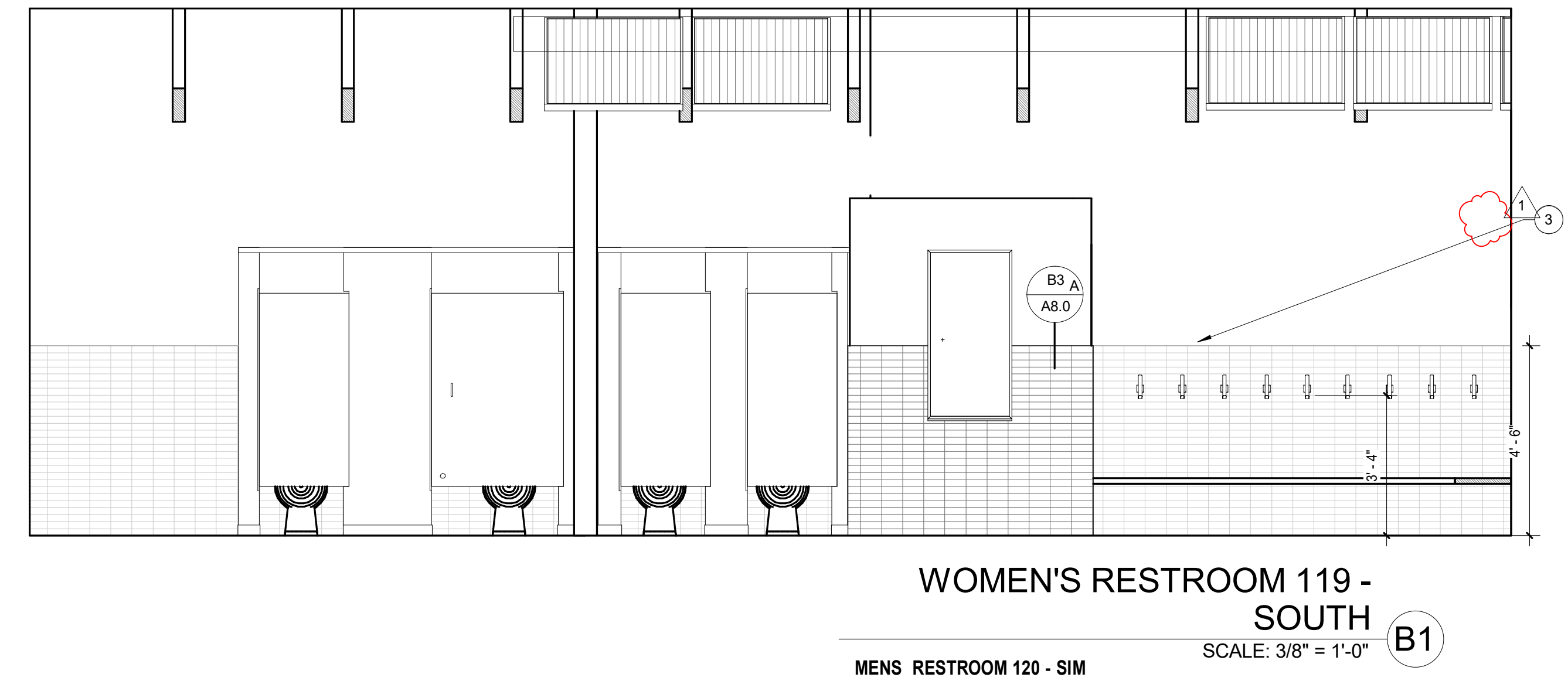
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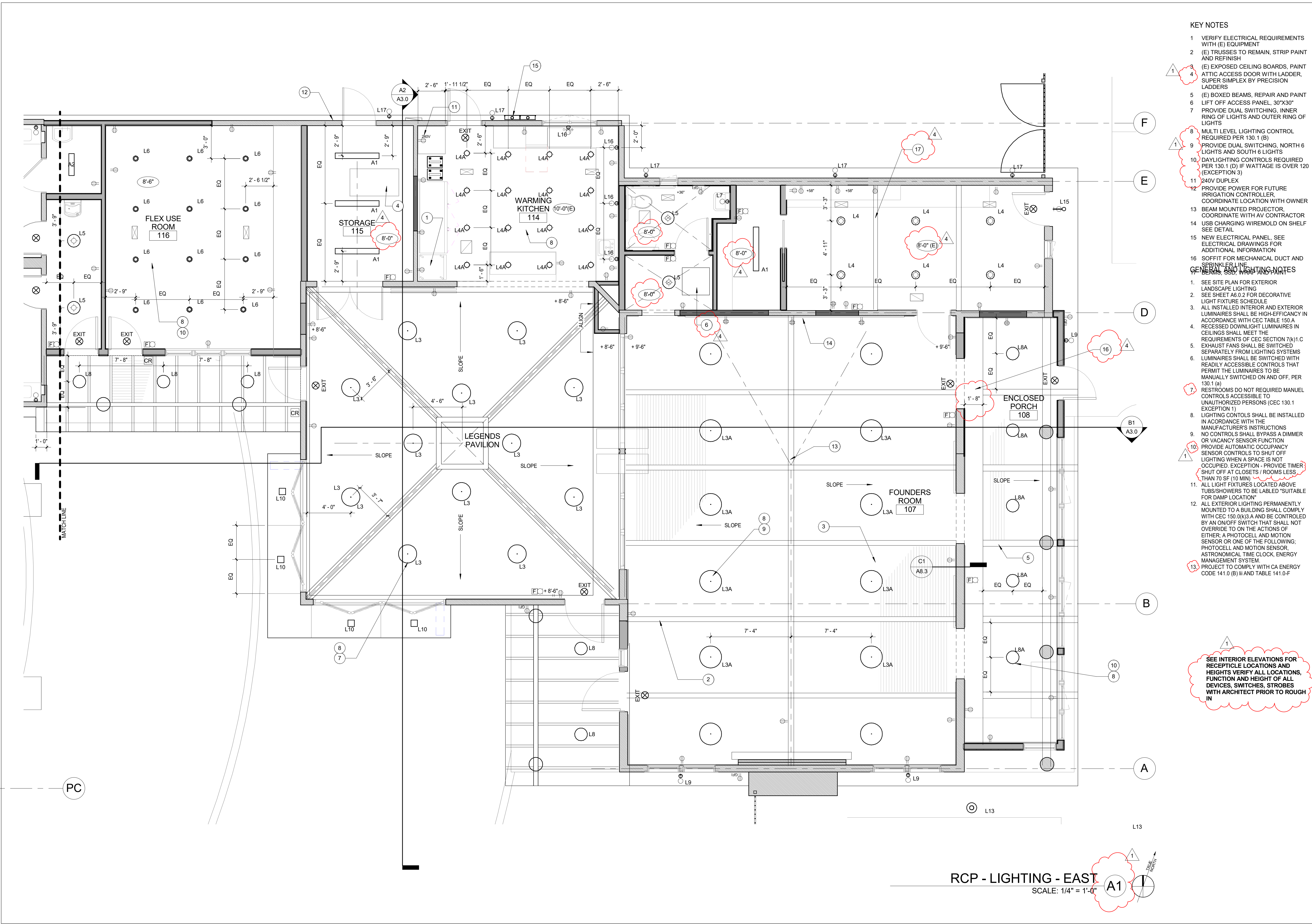
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SHEET TITLE **INTERIOR ELEVATIONS**
SHEET NO. **A5.4**





- KEY NOTES**
- 1 VERIFY ELECTRICAL REQUIREMENTS WITH (E) EQUIPMENT
 - 2 (E) TRUSSES TO REMAIN, STRIP PAINT AND REFINISH
 - 3 (E) EXPOSED CEILING BOARDS, PAINT ATTIC ACCESS DOOR WITH LADDER, SUPER SIMPLEX BY PRECISION LADDERS
 - 4 (E) BOXED BEAMS, REPAIR AND PAINT
 - 5 LIFT OFF ACCESS PANEL, 30"x30"
 - 6 PROVIDE DUAL SWITCHING, INNER RING OF LIGHTS AND OUTER RING OF LIGHTS
 - 7 MULTI LEVEL LIGHTING CONTROL REQUIRED PER 130.1 (B)
 - 8 PROVIDE DUAL SWITCHING, NORTH 6 LIGHTS AND SOUTH 6 LIGHTS
 - 9 DAYLIGHTING CONTROLS REQUIRED PER 130.1 (D) IF WATTAGE IS OVER 120 (EXCEPTION 3)
 - 10 240V DUPLEX
 - 11 PROVIDE POWER FOR FUTURE IRRIGATION CONTROLLER, COORDINATE LOCATION WITH OWNER
 - 12 BEAM MOUNTED PROJECTOR, COORDINATE WITH AV CONTRACTOR
 - 13 USB CHARGING WIREMOLD ON SHELF SEE DETAIL
 - 14 NEW ELECTRICAL PANEL, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
 - 15 SOFFIT FOR MECHANICAL DUCT AND SPRINKLER LINE

- GENERAL AND LIGHTING NOTES**
1. SEE SITE PLAN FOR EXTERIOR LANDSCAPE LIGHTING
 2. SEE SHEET A6.0.2 FOR DECORATIVE LIGHT FIXTURE SCHEDULE
 3. ALL INSTALLED INTERIOR AND EXTERIOR LUMINAIRES SHALL BE HIGH EFFICIENCY IN ACCORDANCE WITH CEC TABLE 150.A RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL MEET THE REQUIREMENTS OF CEC SECTION 7(K)1.C EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS
 4. LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF, PER 130.1 (a)
 5. RESTROOMS DO NOT REQUIRED MANUAL CONTROLS ACCESSIBLE TO UNAUTHORIZED PERSONS (CEC 130.1 EXCEPTION 1)
 6. LIGHTING CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS
 7. NO CONTROLS SHALL BYPASS A DIMMER OR VACANCY SENSOR FUNCTION
 8. PROVIDE AUTOMATIC OCCUPANCY SENSOR CONTROLS TO SHUT OFF LIGHTING WHEN A SPACE IS NOT OCCUPIED. EXCEPTION - PROVIDE TIMER SHUT OFF AT CLOSETS / ROOMS LESS THAN 70 SF (10 MIN)
 9. ALL LIGHT FIXTURES LOCATED ABOVE TUBS/SHOWERS TO BE LABELED "SUITABLE FOR DAMP LOCATION"
 10. ALL EXTERIOR LIGHTING PERMANENTLY MOUNTED TO A BUILDING SHALL COMPLY WITH CEC 150.0(k)3.A AND BE CONTROLLED BY AN ON/OFF SWITCH THAT SHALL NOT OVERRIDE TO ON THE ACTIONS OF EITHER: A PHOTOCELL AND MOTION SENSOR OR ONE OF THE FOLLOWING: PHOTOCELL AND MOTION SENSOR, ASTRONOMICAL TIME CLOCK, ENERGY MANAGEMENT SYSTEM
 11. PROJECT TO COMPLY WITH CA ENERGY CODE 141.0 (B) III AND TABLE 141.0-F

SEE INTERIOR ELEVATIONS FOR RECEPTACLE LOCATIONS AND HEIGHTS VERIFY ALL LOCATIONS, FUNCTION AND HEIGHT OF ALL DEVICES, SWITCHES, STROBES WITH ARCHITECT PRIOR TO ROUGH IN

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SCALE 1/4" = 1'-0"

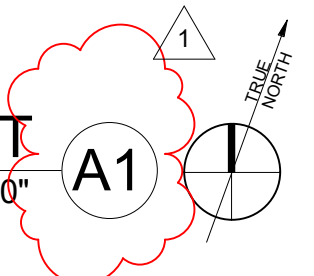
SHEET TITLE

RCP / LIGHTING - EAST

SHEET NO.

A6.0.1

RCP - LIGHTING - EAST
SCALE: 1/4" = 1'-0"



RCP / ELECTRICAL SYMBOLS

	OUTLET - DUPLEX		SPEAKER - CEILING MOUNT
	OUTLET - DUPLEX SWITCHED		SPEAKER - WALL MOUNT
	OUTLET - QUADPLEX		DATA JACK
	OUTLET - GFCI		DATA / PHONE JACK
	OUTLET - WATERPROOF GFCI		PHONE JACK
	OUTLET - APPLIANCE		TV HOOKUP
	OUTLET FLOOR DUPLEX		NATURAL GAS
	OUTLET FLOOR QUADPLEX		HOSE BIB
	FIRE ALARM STROBE		SUPPLY AIR REGISTER
	KEY PAD ENTRY		RETURN AIR REGISTER

LUMINAIRE SCHEDULE

MARK	LOCATIONS	OF/CI	MFR	MODEL #	NAME / DESCRIPTION	COLOR / MATERIAL	MOUNT	WATTS	NOTES	QUANTITY	COST
A1	STORAGE				SURFACE MOUNT LED		CEILING - SURFACE	31W		9	75.00
A2	STORAGE				SURFACE MOUNT LED	BLACK	CEILING - SURFACE	17W		2	50.00
L2										1	249.00
L3	LEGEND ROOM	OF/CI	BLU DOT	BP1-LRGPEN-8K	BOBBER LARGE PENDANT		CEILING - PENDANT	41.5 W		12	599.00
L3A	FOUNDERS ROOM	OF/CI	SEASCAPE	MLO DRUM - CUSTOM	PENDANT LIGHT		CEILING - PENDANT	28W		12	350.00
L4	OFFICE / RESTROOMS	OF/CI	WAC LIGHTING	dweLED_DOT FM-W57809_3000K_BLACK	9" SURFACE MOUNT		CEILING - SURFACE	16.5W		30	135.00
L4A	WARMING KITCHEN	OF/CI	PRANDINA	FINLAND C1G FLUSHMOUNT	SURFACE MOUNT	WHITE	CEILING - SURFACE	17W		16	272.00
L5	HALLS / VESTIBULE / TOILET RM	OF/CI	WILLSTON FORGE	TODD 2_WHITE	4" RECESSED DOWNLIGHT	WHITE	CEILING - SURFACE	20 W MAX		4	124.00
L6	FLEX USE ROOM	OF/CI	WILLIAMS	4DR-TL-15-8-30-DIM-UNV-Q-W	4" RECESSED DOWNLIGHT	WHITE	CEILING - RECESSED	14W		12	50.00
L7	TOILET ROOM	OF/CI	SCHOOLHOUSE ELECTRIC	ALABAX SMALL_DRUM MATTE LED	ALABAX	BLACK	WALL - SURFACE	6W		1	230.00
L8	PORCH / TRELLIS	OF/CI	BARNLIGHT ELECTRIC	S-SBA14-xxxx-ST520-xxxx-NA-CGG-xxx-FST-HSC-LED16.8-3000K-FL	STERLING STEM MOUNT PENDANT		CEILING - PENDANT	16W	COLORED CAST GUARD	8	375.00
L8A	LIBRARY	OF/CI	BARNLIGHT ELECTRIC	C-SBA14-xxxx-cord-xxxx-NA-NA-NA-NA-LED38-3000K-FL	STERLING CORD HUNG PENDANT		CEILING - PENDANT	38W		5	250.00
L9	EXTERIOR WALL	OF/CI	BARNLIGHT ELECTRIC	SBA12-xxxx-NA-NA-NA-NA-NA-LED16.8-3000K-FL	STERLING WALL MOUNT		WALL - SURFACE	16W	INTERIOR OF SHADE COLORED	6	300.00
L10	EXTERIOR SUNSHADE		WAC LIGHTING	FM-W2505	RUBIX	BLACK	CEILING - SURFACE	16W		4	195.00
L12	TOILET ROOMS	OF/CI	SONNEMAN LIGHTING	BAUHAUS COLUMNS BATH BAR	18"	CHROME	WALL - SURFACE	11W		6	164.25
L13	EXTERIOR		HINKLEY LIGHTING	1518CD-LED	ATLANTIS BOLLARD	NATURAL CEDAR	EXTERIOR BOLLARD			8	148.05
L15	EXTERIOR WALL	OF/CI	BARNLIGHT ELECTRIC	G-SBA14-xxxx-G22-xxxx-NA-CGG-xxx-FST-NA-LED16.8-3000K-NA	STERLING GOOSENECK		CEILING - SURFACE	16W	CAST GUARD	3	300.00
L16	WARMING KITCHEN	OF/CI	SCHOOLHOUSE ELECTRIC	ABRAMS / ANGLED SHADE	ABRAMS	TRUE BLACK	WALL - SURFACE	20W	SAUCER SHADE, OPAL	4	231.30
L17	EXTERIOR WALL		WAC LIGHTING	WP-LED227-30-AWT	HAWK WALL MOUNT	WHITE	WALL - SURFACE	27W		6	155.14

SEE SITE PLAN FOR EXTERIOR BOLLARD LIGHT LOCATIONS
 EXIT SIGNS TO BE BACK MOUNTED, WHITE HOUSING COLOR, SINGLE FACE GREEN LETTER COLOR WITH NICKEL CADMIUM BATTERY OPERATION AND TEST SWITCH, MOUNT 6" MIN ABOVE EXIT DOORS, LITHONIA OR EQUAL
 CONTRACTOR TO VERIFY ALL QUANTITIES

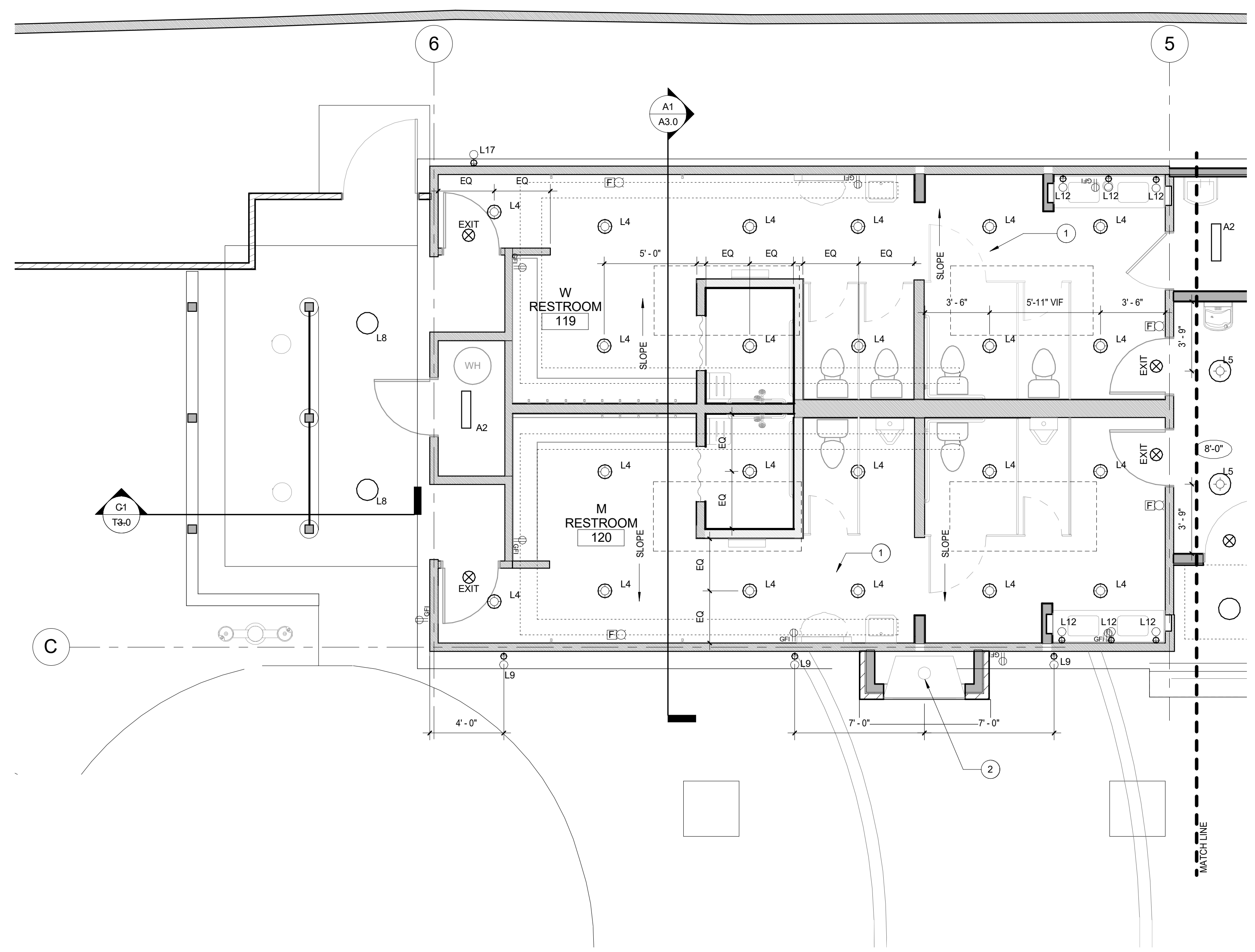
KEY NOTES

- GYP BOARD APPLIED DIRECTLY TO (E) ROOF STRUCTURE, BATT INSULATION BETWEEN FRAMING
- PROVIDE POWER FOR GAS FIREPLACE

GENERAL AND LIGHTING NOTES

- SEE SITE PLAN FOR EXTERIOR LANDSCAPE LIGHTING
- SEE SHEET A6.0.2 FOR DECORATIVE LIGHT FIXTURE SCHEDULE
- ALL INSTALLED INTERIOR AND EXTERIOR LUMINAIRES SHALL BE HIGH-EFFICIENCY IN ACCORDANCE WITH CEC TABLE 150.A
- RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL MEET THE REQUIREMENTS OF CEC SECTION 7(k)1.C
- EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS
- LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF, PER 130.1 (6)
- RESTROOMS DO NOT REQUIRED MANUEL CONTROLS ACCESSIBLE TO UNAUTHORIZED PERSONS (CEC 130.1 EXCEPTION 1)
- LIGHTING CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS
- NO CONTROLS SHALL BYPASS A DIMMER OR VACANCY SENSOR FUNCTION
- PROVIDE AUTOMATIC OCCUPANCY SENSOR CONTROLS TO SHUT OFF LIGHTING WHEN A SPACE IS NOT OCCUPIED. EXCEPTION - PROVIDE TIMER SHUT OFF AT CLOSETS / ROOMS LESS THAN 70 SF (10 MIN)
- ALL LIGHT FIXTURES LOCATED ABOVE TUBS/SHOWERS TO BE LABELED "SUITABLE FOR DAMP LOCATION"
- ALL EXTERIOR LIGHTING PERMANENTLY MOUNTED TO A BUILDING SHALL COMPLY WITH CEC 150.0(k)3.A AND BE CONTROLLED BY AN ON/OFF SWITCH THAT SHALL NOT OVERRIDE TO ON THE ACTIONS OF EITHER: A PHOTOCELL AND MOTION SENSOR OR ONE OF THE FOLLOWING: PHOTOCELL AND MOTION SENSOR, ASTRONOMICAL TIME CLOCK, ENERGY MANAGEMENT SYSTEM.
- PROJECT TO COMPLY WITH CA ENERGY CODE 141.0 (B) III AND TABLE 141.0-F

SEE INTERIOR ELEVATIONS FOR RECEPTILE LOCATIONS AND HEIGHTS VERIFY ALL LOCATIONS, FUNCTION AND HEIGHT OF ALL DEVICES, SWITCHES, STROBES WITH ARCHITECT PRIOR TO ROUGH IN



RCP - LIGHTING - WEST
 SCALE: 1/4" = 1'-0"

**Sleepy Hollow
 Community Center**
 1317 Butterfield Rd
 San Anselmo, CA 94960
 APN-176-162-07

Fairchild
 Broms
 Design

PO BOX 1528
 SAN ANSELMO, CA 94960
 415.459.8699

REVISION - CERT STORAGE
 ARCHITECT / ENGINEER STAMP



DATE / REVISION	DESCRIPTION	NO.
12.16.19	ISSUE FOR PERMIT	
12.30.19	ISSUE FOR PRICING	
02.19.20	INT ELEV UPDATE	
03.25.20	SCOPE REVISIONS	
05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
08.03.20	ISSUE FOR CONSTRUCTION	3

PROJECT NO. 19004

DATE 12.16.2019

SCALE As indicated

SHEET TITLE RCP / LIGHTING - WEST

SHEET NO. A6.0.2



DATE	DESCRIPTION	NO.
12.16.19	ISSUE FOR PERMIT	
03.25.20	SCOPE REVISIONS	
05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
08.03.20	ISSUE FOR CONSTRUCTION	3
09.15.20	COORDINATION / REVISION	4

PROJECT NO. 19004

DATE 12.16.2019

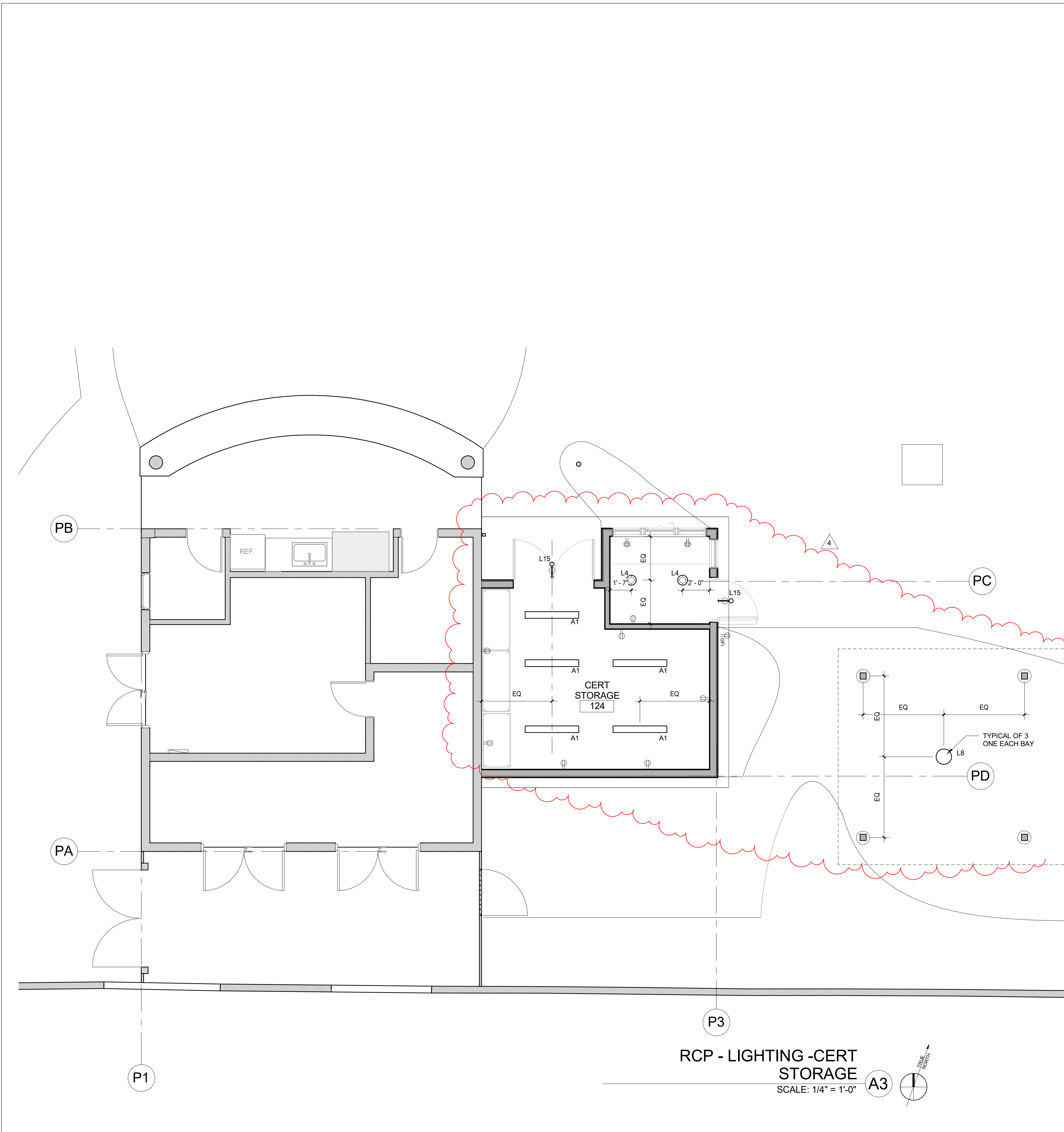
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SHEET TITLE

RCP/LIGHTING - CERT STORAGE

SHEET NO.

A6.0.3



GENERAL AND LIGHTING NOTES

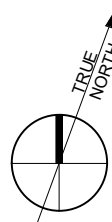
- SEE SITE PLAN FOR EXTERIOR LANDSCAPE LIGHTING
- SEE SHEET A6.0.2 FOR DECORATIVE LIGHT FIXTURE SCHEDULE
- ALL INSTALLED INTERIOR AND EXTERIOR LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH CEC TABLE 150.A
- RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL MEET THE REQUIREMENTS OF CEC SECTION 7(K)1.C
- EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS
- LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF, PER 130.1 (a)
- RESTROOMS DO NOT REQUIRED MANUAL CONTROLS ACCESSIBLE TO UNAUTHORIZED PERSONS (CEC 130.1 EXCEPTION 1)
- LIGHTING CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS
- NO CONTROLS SHALL BYPASS A DIMMER OR VACANCY SENSOR FUNCTION
- PROVIDE AUTOMATIC OCCUPANCY SENSOR CONTROLS TO SHUT OFF LIGHTING WHEN A SPACE IS NOT OCCUPIED. EXCEPTION - PROVIDE TIMER SHUT OFF AT CLOSETS / ROOMS LESS THAN 70 SF (10 MIN)
- ALL LIGHT FIXTURES LOCATED ABOVE TUBS/SHOWERS TO BE LABELED "SUITABLE FOR DAMP LOCATION"
- ALL EXTERIOR LIGHTING PERMANENTLY MOUNTED TO A BUILDING SHALL COMPLY WITH CEC 150.0(K)3.A AND BE CONTROLLED BY AN ON/OFF SWITCH THAT SHALL NOT OVERRIDE TO ON THE ACTIONS OF EITHER A PHOTOCELL AND MOTION SENSOR OR ONE OF THE FOLLOWING: PHOTOCELL AND MOTION SENSOR, ASTRONOMICAL TIME CLOCK, ENERGY MANAGEMENT SYSTEM.
- PROJECT TO COMPLY WITH CA ENERGY CODE 141.0 (B) III AND TABLE 141.0-F

KEY NOTES

SEE INTERIOR ELEVATIONS FOR RECEPTACLE LOCATIONS AND HEIGHTS. VERIFY ALL LOCATIONS, FUNCTION AND HEIGHT OF ALL DEVICES, SWITCHES, STROBES WITH ARCHITECT PRIOR TO ROUGH IN

RCP - LIGHTING - CERT STORAGE
SCALE: 1/4" = 1'-0"

A3



ELECTRICAL NOTES

1. ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE CALIFORNIA ELECTRICAL CODE (CEC) AND ALL OTHER APPLICABLE CODES AND STANDARDS.
2. THE ELEC. SYSTEM SHALL BE DESIGN-BUILT IN ACCORDANCE W/ GENERAL DEVICES, FIXTURES AND RECEPTACLE LOCATIONS SHOWN. ELEC. DWG. ARE DIAGRAMMATIC AND DO NOT NECESSARILY SHOW EVERY COMPONENT AND/OR ACCESSORY. PROVIDE ALL WORK REQ'D FOR COMPLETE ELEC. SYSTEM.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING COMPLETE ELEC. SYSTEM IN CONFORMANCE WITH ALL APPLICABLE REQUIREMENTS, INCLUDING ANY CODE REQ'D DEVICES OR OTHER ELEC. COMPONENTS THAT MAY OR MAY NOT BE DESCRIBED IN THE CONTRACT DOCUMENTS.
4. CONTRACTOR SHALL REVIEW ALL OF THE CONTRACT DOCUMENTS INCLUDING THOSE OF OTHER TRADES FOR RELATED CONDITIONS. REVIEW AND VERIFY ALL MECH. EQUIP. LOCATIONS PRIOR TO ELEC. ROUGH-IN.
5. PROVIDE ELEC. POWER, CONTROL INTERFACE AND CONNECTIONS REQ'D BY OTHER TRADES. GENERAL CONTRACTOR AND ELEC. SUB-CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF OTHER CONTRACTORS OBTAINED BY THE OWNER INCLUDING SECURITY SYSTEM AND AV CONTRACTORS.
6. PROVIDE ALL REQ'D EQUIP., GUARDS AND STRUC. SUPPORT AS RECOMMENDED BY THE MFR. PROVIDE ACCESS PANELS AS REQ'D TO MAINTAIN EQUIP. AND DAMPERS. COORDINATE WITH THE ARCHITECT PRIOR TO INSTALLATION.
7. ALL EQUIP., APPLIANCES, DEVICES AND ACCESSORIES INSTALLED IN ANY PORTION OF THE PROJECT SHALL BEAR THE UNDERWRITERS LABORATORY SEAL OF APPROVAL.
8. ALL ELEC. DEVICES SHALL BE ALIGNED WITH THE ARCHITECTURAL FEATURES WHERE APPLICABLE. MOUNTING HT. OF DEVICES FOR VARIOUS SYSTEMS LOCATED IN THE SAME GENERAL AREA SHALL BE ALIGNED.
9. CONTRACTOR SHALL IDENTIFY ALL DEVICES, FIXTURES & JUNCTION BOXES FOR REVIEW OF THEIR LAYOUT BY THE ARCHITECT IN THE FIELD AT COMMENCEMENT OF ROUGH ELEC. WORK AND PRIOR TO WIRING OF THOSE DEVICES, FIXTURES & JUNCTION BOXES.
10. ALL CONDUIT PENETRATIONS SHALL BE SEALED AIR TIGHT. PROVIDE NFPA APPROVED FIRE-STOPPING AT ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
11. PROVIDE CLR. FLR. SPACE FOR ELEC. PANEL AND EQUIP. WORK SPACE OF 3'-0" DEEP IN DIRECTION OF LIVE PARTS 2'-6" WIDE, 6'-6" HIGH OR PER CEC 110.26 WHICH EVER IS MORE STRINGENT.
12. PROVIDE RECEPTACLE OUTLET SPACED NO MORE THAN 10'-0" APART IN HALLWAYS PER CEC 210.52(H).
13. WALL COUNTER: PROVIDE AT LEAST ONE RECEPTACLE OUTLET AT EA. WALL 12'-0" OR WIDER SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET.
14. ISLAND COUNTER: PROVIDE AT LEAST ONE RECEPTACLE OUTLET AT EA. ISLAND 24" OR GREATER IN LENGTH.
15. PENINSULAR COUNTER: PROVIDE AT LEAST ONE RECEPTACLE OUTLET AT EA. PENINSULA GREATER THAN 24" IN LENGTH.
16. SINK AND RANGE: PROVIDE AT LEAST ONE RECEPTACLE OUTLET WITHIN 24" OF COUNTERTOP SEPARATED BY SINK OR RANGE.
17. RECEPTACLE OUTLETS SHALL BE NOT MORE THAN 20" ABV. COUNTERTOP.
18. ALL OUTDOOR OUTLETS SHALL HAVE A WATERPROOF ENCLOSURE (N-USE BUBBLE COVER) PER CEC 406.9 (B). DAMP LOCATION RECEPTACLES ARE PERMITTED WHEN PROTECTED FROM WEATHER PER CEC 406.9(A).
19. PROVIDE AT LEAST ONE 125-VOLT, SINGLE-PHASE, 15 OR 20-AMP RATED RECEPTACLE OUTLET, OR AS REQ'D TO SERVE ELEC. LOADS OF ALL EQUIP., FOR SERVING HEATING AND AIR-CONDITIONING EQUIP. LOCATED WITHIN 25'-0" OF THE EQUIP.
m. FINISH OF ALL COVER PLATES SHALL BE AS SPECIFIED BY THE ARCHITECT.
20. FINISH OF ALL COVER PLATES SHALL BE AS SPECIFIED BY THE ARCHITECT.
21. SERVICE CONNECTION AND GROUNDING:
 - a. UFER GROUNDING, CONCRETE-ENCASED ELECTRODE IS REQ'D PER CEC 250.52(A)(C) FOR ALL MAIN ELEC. SERVICE. ELEC. CONTRACTOR TO DETERMINE SIZE, LOCATION AND GROUNDING METHOD FOR THE MAIN ELEC. SERVICE.
 - b. THE USE OF PIPING FOR ELEC. GROUNDS IS PROHIBITED.
22. LOW-VOLTAGE:
 - a. ALL AV EQUIP. AND WIRING SHOWN HEREIN ARE DIAGRAMMATIC. FINAL AV EQUIP. LAYOUT SHALL BE CONFIRMED WITH OWNER PRIOR TO INSTALLATION. ELEC. CONTRACTOR SHALL COORDINATE WITH THE OWNER'S AV CONSULTANT.
 - b. ALL DATA & COMMUNICATION CABLES SHALL MAKE HOME RUNS TO THE MAIN STRUCTURED PANEL.
 - c. PROVIDE TAG FOR ALL TELEPHONE/DATACATV CABLES AT EA. TERMINATION. INSTALL DATA CABLES BETWEEN RECEPTACLES AND ADJACENT MEDIA CABINETS THROUGH FLEXIBLE CONDUITS.
23. (E) CONDITIONS:
 - a. REPLACE ALL (E) KNOB-AND-TUBE WIRING IF ANY ARE FOUND IN THE (E) CONDITION.
24. CARBON MONOXIDE ALARMS:
 - a. PROVIDE CARBON MONOXIDE ALARMS IN ACCORDANCE WITH CBC 2013 SECTION 420.6
25. RECEPTACLES & BRANCH CIRCUITS:
 - a. (E) OUTLETS AND SWITCHES TO REMAIN, U.O.N.; INSTALL NEW OUTLETS & FIXTURES AS NOTES ON PLANS & AS REQ'D BY CODE.
26. EXACT LOCATION OF ALL SCONCES TO BE VERIFIED BY ARCH. IN FIELD.
27. ALL NEW CIRCUITS TO BE PROVIDED WITH TAMPER RESISTANT RECEPTACLES.

PLUMBING NOTES

1. ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE CALIFORNIA PLUMBING CODE (CPC) AND ALL OTHER APPLICABLE CODE AND STANDARDS.
2. PLUMBING SYSTEM SHALL BE DESIGN-BUILT IN ACCORDANCE WITH GENERAL FIXTURE AND EQUIPMENT LOCATIONS SHOWN. PROVIDE ALL WORK REQ'D FOR COMPLETE PLUMBING SYSTEM FULLY ADJUSTED, TESTED AND READY FOR OPERATION.
3. PIPING PENETRATIONS THROUGH CONCRETE SLAB SHALL BE SLEEVED AND SEALED WATERTIGHT. PROVIDE NFPA APPROVED FIRESTOPPING AT ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
4. STRUC. COMPONENTS SHALL NOT BE CUT, DRILLED OR MODIFIED WITHOUT THE STRUCTURAL ENGINEER'S REVIEW PRIOR TO WRITTEN APPROVAL.
5. PROVIDE APPROPRIATELY SIZED ACCESS PANEL COMPATIBLE W/ SURROUNDING FINISHES FOR VALVES, CLEANOUTS AND DEVICES INSIDE CHASES, WALLS OR ABOVE NON-ACCESSIBLE CEILINGS. ALL ACCESS PANELS INSTALLED IN FIRE RATED ASSEMBLIES SHALL BE UL-LISTED FOR APPROPRIATE RATING.
6. PLUMBING FIXTURES & FIXTURE FITTINGS: (ALL FIXTURES TO COMPLY WITH CA CODES, UPGRADE EXISTING AS REQUIRED TO MEET CURRENT CODES)
7. WATER HEATER REQUIREMENTS: CPC-5
 - a. UNLISTED WATER HEATERS SHALL BE INSTALLED W/ A CLEARANCE OF 12" ON ALL SIDES AND REAR. LISTED WATER HEATERS SHALL BE INSTALLED IN ACCORDANCE W/ THE MFR'S INSTRUCTIONS.
 - b. PROVIDE OVERPRESSURE & OVERTEMPERATURE PROTECTION BY MEANS OF APPROVED, LISTED DEVICE INSTALLED IN ACCORDANCE W/ THE MFR'S INSTRUCTIONS.
 - c. INDIRECT-FIRED WATER HEATERS SHALL BE INSTALLED IN ACCORDANCE TO CPC-505.4.
 - d. PROVIDE AIR FOR COMBUSTION AND VENTILATION IN ACCORDANCE W/ CPC-506, AS WELL AS APPLICABLE PROVISIONS OF 2016 CMC.
 - e. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO SEISMIC FORCES. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD & LOWER ONE-THIRD OF ITS VERT. DIMENSIONS. AT THE LOWER POINT, A MIN. DISTANCE OF 4" SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING.
 - f. PROVIDE CONDENSATION DRAIN TO COLLECT & DISPOSE CONDENSATE GENERATED FROM CONDENSING APPLIANCES/EQUIPMENT PER CPC-509.9 & CMC 312.1
 - h. ON-DEMAND WATER HEATER, IF ANY, SHALL MEET ENERGY FACTOR OF 0.80 OR AS NOTED IN TITLE-24 REPORT, WHICH EVER IS MORE STRINGENT
8. WATER SUPPLY & DISTRIBUTION:
 - a. ALL PIPING, TUBES AND FITTINGS CARRYING POTABLE WATER SHALL BE OF COPPER, AND IN ACCORDANCE TO CPC-604. REPLACE ANY EXISTING NON-COPPER SUPPLY SYSTEM U.O.N.
 - b. HEAT EXCHANGERS USED FOR HEAT TRANSFER, HEAT RECOVERY, OR SOLAR HEATING SHALL PROTECT THE POTABLE WATER SYSTEM FROM CONTAMINATION BY THE HEAT TRANSFER MEDIUM.
9. POTABLE WATER OUTLETS WITH HOSE ATTACHMENTS, OTHER THAN WATER HEATER DRAINS, AND CLOTHES WASHER CONNECTIONS, SHALL BE PROTECTED BY A NON-REMOVABLE NON-FREEZE HOSE-BIB-TYPE BACKFLOW PREVENTER, A NON-REMOVABLE HOSE-TYPE VACUUM BREAKER OR AN ATMOSPHERIC VACUUM BREAKER INSTALLED AT LEAST 6" ABV. THE HIGHEST POINT OF USAGE LOCATED ON THE DISCHARGE SIDE OF THE LAST VALVE. CPC 603.5.7.
10. SANITARY DRAINAGE:
 - a. ALL (N) SANITARY PIPING SHALL BE OF CAST IRON OR COPPER U.O.N. OR APPROVED BY THE ARCHITECT.
 - b. SIZE DRAINAGE PIPING IN ACCORDANCE TO CPC-703.
 - c. PROVIDE CONDENSATION DRAIN TO COLLECT AND DISCHARGE CONDENSATE GENERATED BY EQUIPMENT PER CPC-509.9 & 814.
 - d. DISHWASHING MACHINE SHALL NOT BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSAL W/O THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. AIR GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL MARKING AT OR ABV. FLOOD LEVEL OF SINK OR DRAIN BOARD, WHICHEVER IS HIGHER.
11. VENTS:
 - a. EACH VENT PIPING OR STACK SHALL TERMINATE VERTICALLY NOT LESS THAN 6" ABV. THE ROOF OR FIREWALL, NOR LESS THAN 1'-0" FROM ANY VERT. SURFACE. EACH VENT SHALL EXTEND NOT LESS THAN 7'-0" ABV. OCCUPIED ROOF SURFACE.
 - b. EACH VENT SHALL TERMINATE NOT LESS THAN 10'-0" FROM, OR AT LEAST 3'-0" FEET ABV., ANY OPERABLE WINDOW, DOOR, OPENINGS, AIR INTAKE, OR VENT SHAFT, NOR LESS THAN 3'-0" IN EVERY DIRECTION FROM ANY LOT LINE, ALLEY & STREET PER CPC-906.2
 - c. COORDINATE ALL ROOF VENT LOCATION WITH ARCHITECT PRIOR TO PIPING INSTALLATION
12. STORM DRAINAGE:
 - a. RAIN LEADER PIPES PLACED WITHIN A BLDG., SHAFT OR WALL CAVITY SHALL BE OF CAST IRON OR COPPER.
 - b. PROVIDE SECONDARY ROOF DRAINAGE IN ACCORDANCE TO CPC-1101.11.2; AND PROVIDE CLEANOUTS FOR STORM DRAINS PER CPC-719 & 1101.12.
 - c. ALL ROOF DRAINS SHALL BE EQUIPPED WITH STRAINERS IN ACCORDANCE TO CPC-1105, AND GUTTERS SHALL BE EQUIPPED WITH SCREENS.
13. CONTRACTOR SHALL FURNISH A COMPLETED CF-6R FORM.
14. CONTRACTOR SHALL FLUSH THE ENTIRE (E) SANITARY SYSTEM AND TEST FOR LEAKAGE.
15. WATER HEATER PRESSURE TEMPERATURE RELIEF VALVES LOCATED INSIDE A BUILDING SHALL BE PROVIDED WITH AN APPROVED DRAIN TO THE EXTERIOR OF THE BUILDING AND SHALL TERMINATE NOT MORE THAN TWO FEET NOR LESS THAN SIX INCHES ABOVE THE GROUND. NO PART OF SUCH DRAIN SHALL BE TRAPPED OR SUBJECT TO FREEZING AND THE END OF THE PIPE SHALL NOT BE THREADED. RELIEF VALVE DRAINS SHALL NOT TERMINATE IN A BUILDING'S CRAWL SPACE. CPC SECTION 608.5
16. PER PAMC SECTION 16.08.110, BACKWATER VALVES ON PRIVATE SEWER LATERALS ARE NOW REQUIRED ON NEW CONSTRUCTION. A BACKWATER VALVE SHALL BE INSTALLED FOR EACH STRUCTURE, AND CLEANOUTS FOR DRAINS THAT PASS THROUGH A BACKWATER VALVE SHALL BE CLEARLY IDENTIFIED WITH A PERMANENT LABEL STATING "BACKWATER VALVE DOWNSTREAM"
17. PROVIDE A MINIMUM OF 4 TAMPERPROOF HOSE BIBS ON CLUBHOUSE BUILDING, COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO PIPING INSTALLATION

MECHANICAL NOTES

1. ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE CALIFORNIA MECHANICAL CODE (CMC) AND ALL OTHER APPLICABLE CODES AND STANDARDS.
2. THE MECH. SYSTEM SHALL BE DESIGN-BUILT IN ACCORDANCE WITH GENERAL EQUIP. LOCATIONS SHOWN. PROVIDE ALL WORK REQ'D FOR COMPLETE MECH. SYSTEM. THE WORK INCLUDES FURNISHING, INSTALLING, INTEGRATION, TESTING, TRAINING AND WARRANTY OF THE COMPLETE MECH. SYSTEM.
3. CONTRACTOR SHALL REVIEW ALL OF THE CONTRACT DOCUMENTS INCLUDING THOSE OF OTHER TRADES FOR RELATED CONDITIONS. THE CONTRACTOR SHALL, WITHOUT ADDITIONAL COSTS TO THE OWNER, MAKE REASONABLE MODIFICATIONS TO HIS WORK IN ORDER TO PREVENT CONFLICT WITH WORKS OF OTHER TRADES OR FOR THE PROPER EXECUTION OF HIS WORK.
4. ALL HVAC DIFFUSER AND GRILL LOCATIONS SHALL BE SUBJECT TO THE ARCHITECT AND OWNER'S REVIEW AND APPROVAL. (E) DIFFUSERS AND GRILLS LOCATED IN AREAS OTHER THAN PERIMETER OF ROOMS AFTER THE REMODEL SHALL BE RELOCATED.
5. ENVIRONMENTAL AIR DUCTS: ALL ENVIRONMENTAL AIR DUCT INSULATION SHALL CONFORM TO PROVISIONS OF CMC-504.
6. ALL ENVIRONMENTAL AIR DUCT EXHAUST TERMINATIONS SHALL MAINTAIN MIN. 3'-0" CLR. FROM PROPERTY LINES & BLDG. OPENINGS.
7. VENTING: SHALL CONFORM TO ALL PROVISIONS OF CMC-802.
 - a. ALL GAS UTILIZATION EQUIP. SHALL BE CONNECTED TO VENTING SYSTEM CONFORMING TO PROVISIONS OF CMC-802, EXCEPT AS PROVIDED UNDER CMC-802.2.1 INCLUDING LISTED RANGES, BUILT-IN DOMESTIC COOKING UNITS LISTED AND MARKED FOR OPTIONAL VENTING, LISTED TYPE-1 CLOTHES DRYERS EXHAUSTED IN ACCORDANCE TO CMC-504.3.2, SINGLE LISTED BOOSTER TYPE WATER HEATER, ROOM HEATERS LISTED FOR UNVENTED USE, DIRECT GAS-FIRED MAKEUP AIR HEATERS, OTHER EQUIP. LISTED FOR UNVENTED USE & NOT PROVIDED WITH FLUE COLLARS.
 - b. MECH. DRAFT VENTING SYSTEM OF OTHER THAN DIRECT-VENT TYPE SHALL TERMINATE AT LEAST 4'-0" BELOW AND 4'-0" HORIZONTALLY FROM OR 1'-0" ABV. ANY DOOR, OPERABLE WINDOW, OR GRAVITY AIR INLET INTO ANY BLDG.; & AT LEAST 12" ABV. GRADE MEASURED TO THE BOTTOM OF THE VENT TERMINAL.
 - c. LISTED DIRECT-VENT GAS UTILIZATION EQUIP. SHALL BE INSTALLED & VENTED IN ACCORDANCE WITH THE MFR'S INSTRUCTIONS; AND VENT TERMINATION OF DIRECT VENT APPLIANCES SHALL BE IN ACCORDANCE OF THE REQUIREMENTS OF CMC-802.8.3.
 - d. CHIMNEY FOR RESIDENTIAL TYPE GAS UTILIZATION EQUIP. SHALL EXTEND AT LEAST 3'-0" ABV. THE HIGHEST POINT OF THE ROOF, AND AT LEAST 2'-0" HIGHER THAN ANY PORTION OF THE BLDG. WITHIN A HORIZONTAL DISTANCE OF 10'-0".
 - e. GAS VENTS SHALL BE SIZED & TERMINATE IN ACCORDANCE WITH CMC-802.6. GAS VENTS SHALL TERMINATE AT LEAST 3'-0" ABV. FORCED AIR INLETS LOCATED WITHIN 10'-0".
 - f. (E) CHIMNEYS & VENTS SHALL BE INSPECTED PRIOR TO REPLACEMENT OF AN (E) APPLIANCE OR INSTALLATION OF (N) APPLIANCE.
 - g. ALL GAS VENTS SHALL BE LOCATED MIN 4'-0" CLR. OF PROPERTY LINES.
 7. APPLIANCES AND EQUIP. SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT W/O REMOVING PERMANENT CONSTR. PROVIDE MIN. 30" DEPTH, WIDTH AND HT. OF WORKING SPACE U.O.N.
 8. FURNACES, IF ANY, SHALL MEET AFUE RATING OF 92% OR AS NOTED IN TITLE-24 REPORT, WHICHEVER IS MORE STRINGENT.
 9. IF SEALED COMBUSTION UNIT CANNOT BE INSTALLED, INDOOR COMBUSTION AIR SHALL BE PROVIDED IN ACCORDANCE WITH CMC-701.
 - a. PROVIDE MIN. 100-SQ-IN. OF COMBUSTION AIR OPENINGS FOR DOMESTIC CLOTHES DRYER & OTHER GAS BURNING APPLIANCES/EQUIP. LOCATED IN CLOSETS. ONE OPENING SHALL COMMENCE WITHIN 12" OF THE TOP, AND ONE OPENING SHALL COMMENCE WITHIN 12" OF THE BOT. OF THE ENCLOSURE. MIN. DIMENSION OF THE OPENINGS SHALL NOT BE LESS THAN 3".
 - b. PROVIDE MIN. 100-SQ-IN. OF COMBUSTION AIR OPENINGS FOR DOMESTIC CLOTHES DRYER & OTHER GAS BURNING APPLIANCES/EQUIP. LOCATED IN CLOSETS. ONE OPENING SHALL COMMENCE WITHIN 12" OF THE TOP, AND ONE OPENING SHALL COMMENCE WITHIN 12" OF THE BOT. OF THE ENCLOSURE. MIN. DIMENSION OF THE OPENINGS SHALL NOT BE LESS THAN 3".
12. USE DUCT MASTICS ON ALL DUCT JOINTS AND SEAMS. ALL (N) DUCTS SHALL BE INSTALLED TO MAX OF 6% AIR LEAKAGE.
13. EVERY EFFORT SHALL BE MADE TO LOCATE DUCTS WITHIN CONDITIONED SPACE WHERE PRACTICABLE.
14. PROVIDE MIN. R-6 DUCT INSUL., OR IN ACCORDANCE TO TITLE-24 REPORT.
15. CONTRACTOR SHALL FURNISH COMPLETED CF-4R & CF-6R FORMS.
16. SEAL ALL DUCTS AND VENTS DURING CONSTR. AND FLUSH THE ENTIRE HVAC SYSTEM PRIOR TO OCCUPANCY.
17. ALL PIPING AND DUCT PENETRATIONS SHALL BE SEALED AIR TIGHT. DUCT & AIR TRANSFER OPENING PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY UL-LISTED FIRE/SMOKE DAMPERS AS REQ'D PER CBC-7.17.3.1
18. ALL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE TO THE EQUIP. MFR'S RECOMMENDATIONS AND REQUIREMENTS.
19. DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS. ALL SYSTEMS SHALL BE TESTED, ADJUSTED AND BALANCED.

**MECHANICAL SYSTEM TO BE 3 GAS, FORCED AIR HIGH EFFICIENCY (90%) VARIABLE SPEED UNITS
UNIT ONE - SERVING RESTROOMS
UNIT TWO - SERVICE FLEX USE ROOM, LEGENDS ROOM, WARMING KITCHEN (2 ZONE SYSTEM)
UNIT THREE - SERVICE FOUNDERS ROOM, ENCLOSED PORCH, LEASE OFFICE (2 ZONE SYSTEM)**

PROVIDE 14 SEER CONDENSERS IN LOCATION N NOTED

PROVIDE SHOP DRAWING LAYOUT OF SYSTEM AND DUCTING PRIOR TO PROJECT START

**Sleepy Hollow
Community Center**
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San Anselmo, CA 94960
APN-176-162-07

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REVISION - CERT STORAGE

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ISSUE / REVISION		
Date	Description	No.
05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
08.03.20	ISSUE FOR CONSTRUCTION	3

PROJECT NO. **19004**

DATE **05.15.2020**

SCALE

SHEET TITLE

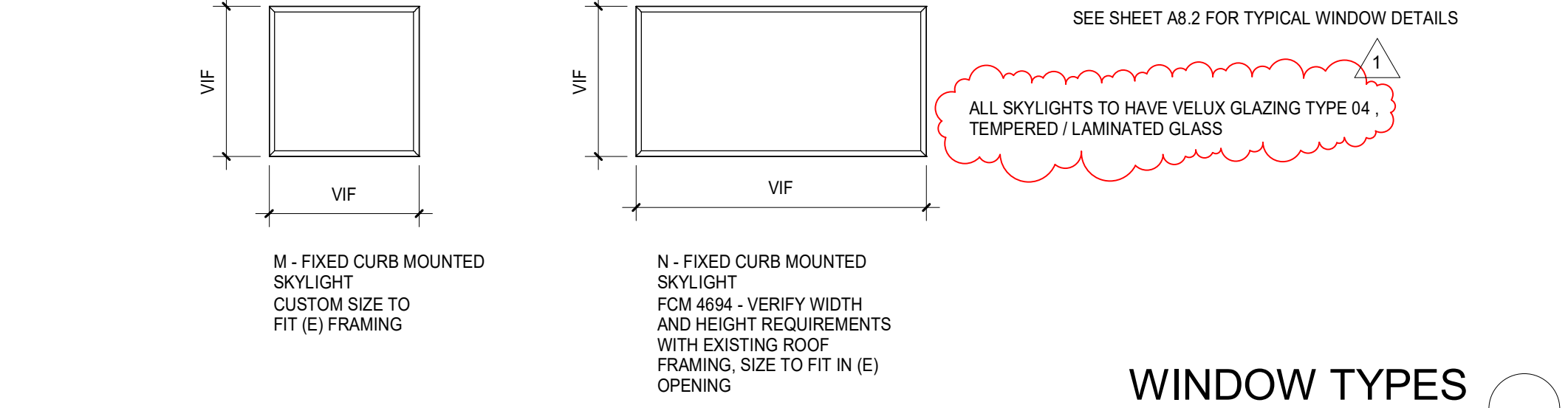
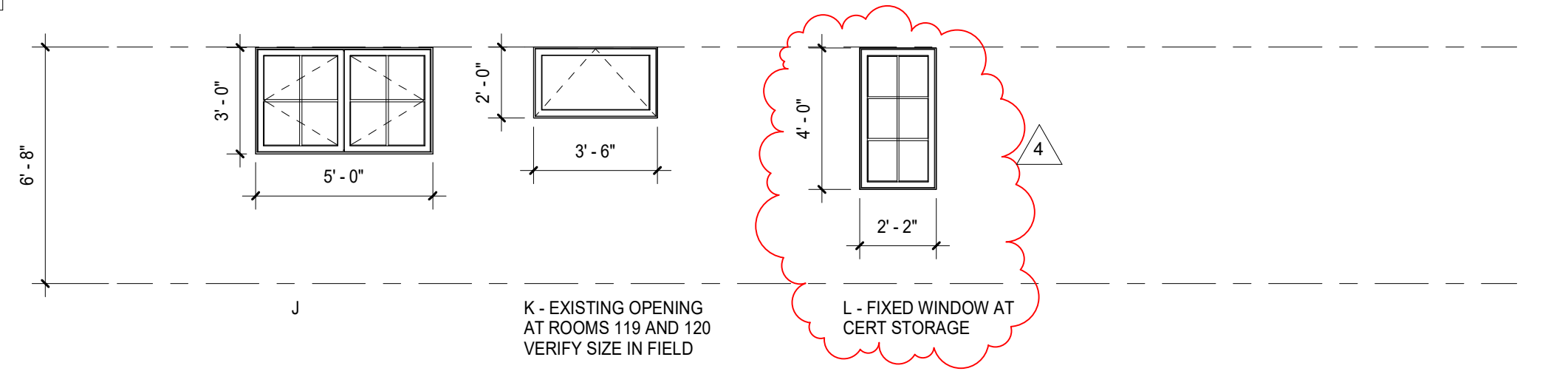
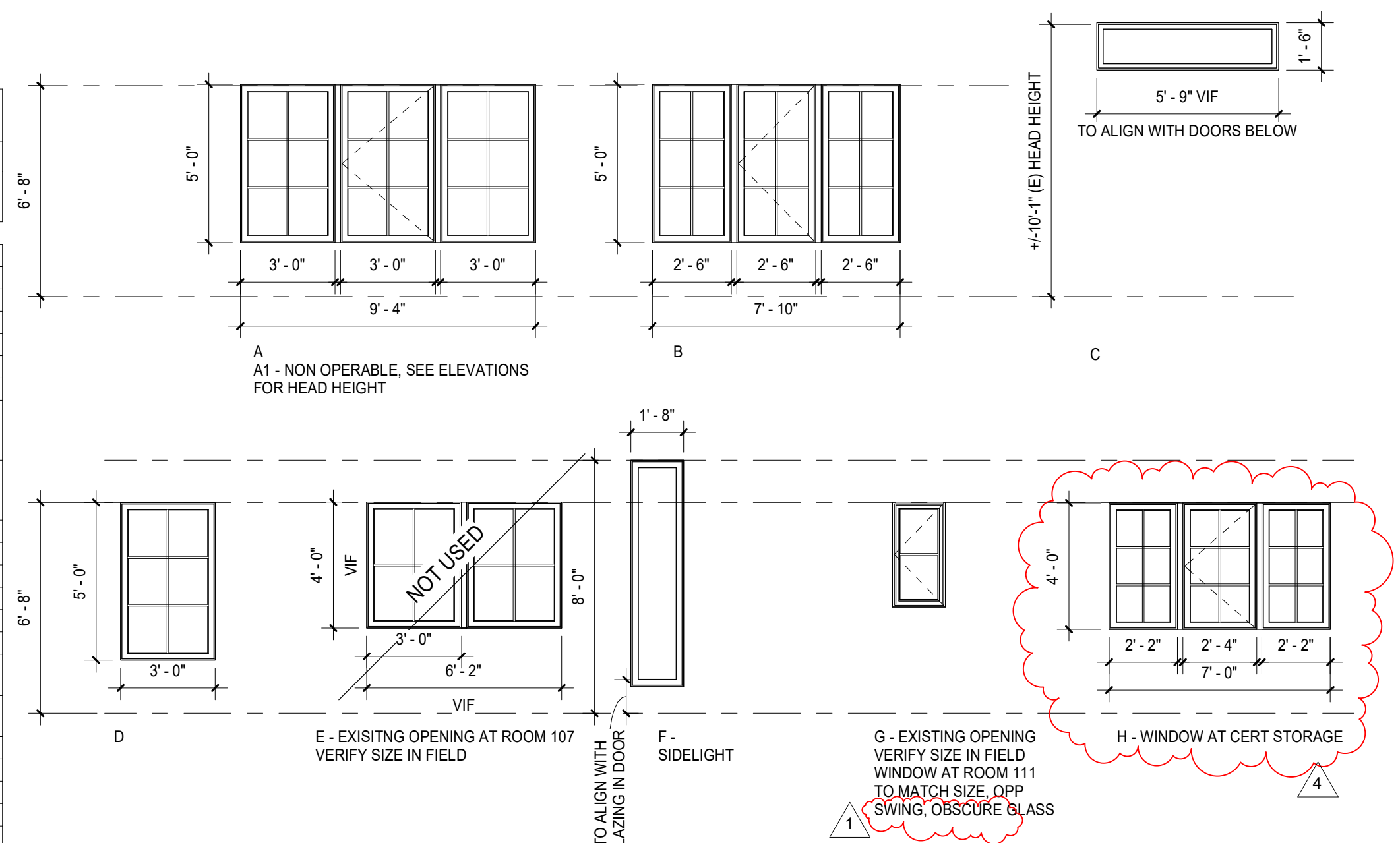
MEP NOTES

SHEET NO.

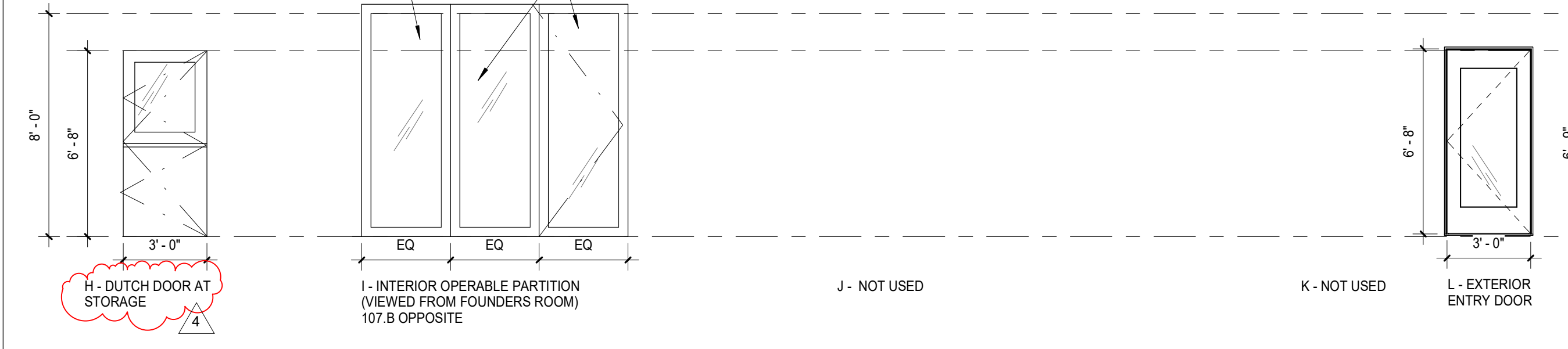
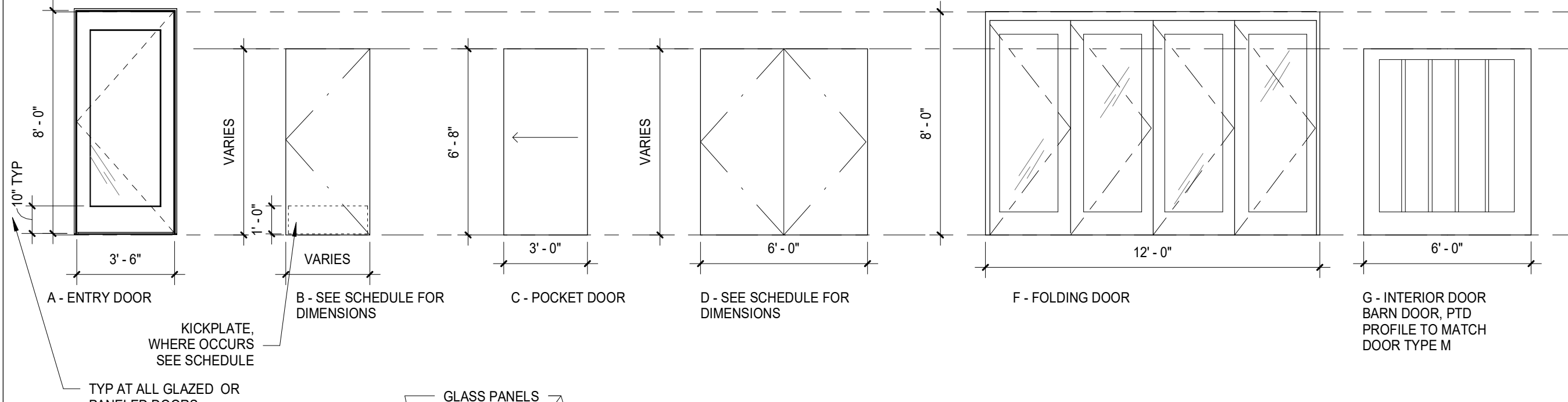
A6.1

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DOOR NO	DOOR LOCATION	WIDTH	HEIGHT	EXIT DOOR	DOOR				FRAME			DETAIL			HARDWARE GROUP	MANUFACTURER (OR EQUAL, PROVIDE SPECIFICATION)	COMMENTS
					TYPE	MATL	FINISH	MATL	FINISH	HEAD	THRESHOLD	JAMB					
106	LEGENDS PAVILION	3'-8 3/16"	8'-0"	Y	A	SCWD	CLD	WD	CLD					01	MARVIN COMMERCIAL	PANIC HARDWARE	
106.1	LEGENDS PAVILION	12'-0"	8'-0"		F	SCWD	CLD	WD	CLD					22	LA CANTINA		
106.2	LEGENDS PAVILION	12'-0"	8'-0"		F	SCWD	CLD	WD	CLD					22	LA CANTINA		
106.3	LEGENDS PAVILION	3'-2 3/16"	6'-8"	Y	L	SCWD	CLD	WD	CLD					03	MARVIN COMMERCIAL	PANIC HARDWARE, KEYPAD	
107	FOUNDERS ROOM	3'-8 3/16"	8'-0"	Y	A	SCWD	CLD	WD	CLD			B3/A8.2		01	MARVIN COMMERCIAL	PANIC HARDWARE	
107.1A		10'-6 15/32"	8'-0"		I	ALUM/CL								22	Hufcor, Inc.	VERIFY WIDTH AND HEIGHT IN FIELD	
107.1B		10'-5 11/16"	8'-0"		I	ALUM/CL								22	Hufcor, Inc.	VERIFY WIDTH AND HEIGHT IN FIELD	
107.2		4'-9"	6'-8"		M	SCWD	P	WD	P			B3/A8.2		24		DOOR AND TRACK BY OWNER, PROVIDE BACKING (E) SLIDING DOOR TO BE REHUNG AND REFINISHED HUNG AS BARN DOOR (E) WIDTH TO BE VERIFIED IN FIELD	
107.3		4'-9"	6'-8"		M	SCWD	P	WD	P			B3/A8.2		24		DOOR AND TRACK BY OWNER, PROVIDE BACKING (E) SLIDING DOOR TO BE REHUNG AND REFINISHED HUNG AS BARN DOOR (E) WIDTH TO BE VERIFIED IN FIELD	
108	ENCLOSED PORCH	3'-2 3/16"	6'-8"	Y	L	SCWD	CLD	WD	CLD	A2/A8.2		C3/A8.2		02	MARVIN COMMERCIAL	PANIC HARDWARE	
110	LEASE OFFICE	3'-2 3/16"	6'-8"	Y	L	SCWD	CLD	WD	CLD	A2/A8.2		C3/A8.2		04	MARVIN COMMERCIAL		
110.1	LEASE OFFICE	3'-0"	6'-8"		B	SCWD	P	WD	P	B3/A8.2				13			
110.2	LEASE OFFICE	3'-0"	6'-8"		C	SCWD	P	WD	P	B3/A8.2				20		POCKET DOOR	
111	TOILET	3'-0"	6'-8"	Y	B	SCWD	P	WD	P	B3/A8.2				14			
114	WARMING KITCHEN	3'-2 3/16"	6'-8"	Y	L	SCWD	CLD	WD	CLD	B3/A8.2				05	MARVIN COMMERCIAL		
114A		6'-0"	6'-8"		G	SCWD	P	WD	P	B3/A8.2				23		DOOR AND TRACK BY OWNER, PROVIDE BACKING SLIDING BARN DOOR ON DOUBLE TRACK	
114B		6'-0"	6'-8"		G	SCWD	P	WD	P	B3/A8.2				23		DOOR AND TRACK BY OWNER, PROVIDE BACKING SLIDING BARN DOOR ON DOUBLE TRACK	
115	STORAGE	3'-0"	6'-8"	Y	B	HM	P	HM	P	B3/A8.2				06			
115A	STORAGE	6'-0"	6'-8"		D	SCWD	P	WD	P					19			
116	FLEX USE ROOM	3'-2 3/16"	6'-8"	Y	L	SCWD	CLD	WD	CLD	A2/A8.2		C3/A8.2		07	MARVIN COMMERCIAL	KEYPAD	
118	HALL	3'-2 3/16"	6'-8"	Y	L	SCWD	CLD	WD	CLD	A2/A8.2		C3/A8.2		05	MARVIN COMMERCIAL		
121	JANITOR	3'-0"	6'-8"		B	SCWD	P	WD	P					17		PROVIDE KICKPLATE BOTH SIDES	
124	CERT STORAGE	6'-0"	6'-8"	Y	D	HM	P	HM	P	A2/A8.2				11		HOLLOW CORE MTL DOOR AND FRAME	
124.1	STORAGE / SERVICE	3'-0"	6'-8"	Y	H	SCWD	P	WD	P					21		GLAZED DUTCH DOOR WITH SHELF AT LOWER LEAF	



- DOOR & FRAME MATERIALS & FINISHES**
- HM HOLLOW METAL
 - SCWD SOLID CORE WOOD
 - CLD ALUMINUM CLAD, PREFINISHED
 - FRP FIBERGLASS REINFORCED POLYESTER
 - AL ALUMINUM
 - WD WOOD
 - CLR CLEAR FINISH
 - AND ANODIZED
 - P PAINTED / PAINT COLOR
 - STL STEEL
 - GALV GALVANIZED



DOOR TYPES
SCALE: 1/4" = 1'-0"

DOOR AND WINDOW NOTES

GENERAL

- CONTRACTOR TO VERIFY ALL ROUGH OPENINGS AND JAMB THICKNESS BEFORE FINALIZING DOOR AND WINDOW ORDER(S). SIZES LISTED ARE FINISHED SIZES
- TEMPERED OR SAFETY GLASS IS REQUIRED IN ALL DOORS WHERE GLAZING IS SHOWN AND IN FIXED OR OPERABLE PANELS ADJACENT TO DOORS WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER THE VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE. AND IN ANY FIXED OR OPERABLE PANELS THAT MEET ALL OF THE FOLLOWING CONDITIONS PER CBC 2406.4:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SF
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FLOOR
 - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36" ABOVE THE FLOOR
 - ONE OR MORE WALKING SURFACE ARE WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE PLANE OF THE GLAZING.
- GLAZING IN RAILINGS REGARDLESS OF HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS
- ALL DOORS AND WINDOWS TO BE SIMULATED DIVIDED LIGHTS WITH SPACER BARS. SPACER BARS TO BE BLACK
- INSTALL ALL DOORS AND WINDOWS PER MANUFACTURER'S INSTRUCTIONS
- SEE SHEET T1.1.1 FOR ADDITIONAL INFORMATION

DOORS

- ALL FIRE RATED DOORS TO HAVE SELF-CLOSER AND SMOKE GASKET PER NFPA
- ALL EXTERIOR SWING DOORS TO MEET AIR INFILTRATION RATE OF 3CFM/FT² FOR SINGLE DOORS AND 1.0 CFM/FT² FOR DOUBLE DOORS. ALL DOORS TO HAVE A U FACTOR OF .70 (SEE WINDOW NOTES FOR GLAZED DOOR REQUIREMENTS)
- ALL (E) DOORS NOT NOTED ON SCHEDULE TO BE REPAINTED, HARDWARE ADJUSTED AS NEEDED TO PROVIDE FOR SMOOTH OPERATION
- SEE PLANS FOR DOOR SWING DIRECTIONS
- INTERIOR OPERABLE PARTITION TO BE HUFCOR SERIES GU2 ACOUSTICAL GLASS PARTITIONS, STC RATING 45, CENTER STACKING, HINGED PAIR AND 1 HINGED CLOSURE PANEL. PANEL FINISH TO BE STANDARD ALUMINUM, GLASS TO BE STANDARD CLEAR. PROVIDE TOP AND BOTTOM SEAL
- ALL INTERIOR DOORS TO BE SOLID CORE, FLAT FACE

WINDOWS

- PROJECT IS IN WUI ZONE - ALL WINDOWS TO HAVE AT LEAST ONE PANE TEMPERED
- WINDOWS TO BE MARVIN CLAD (OR EQUAL), BRONZE FINISH, PRIMED INTERIOR, SQUARE STICKING, 5/8" SQUARE SDLS WITH BLACK SPACER
- HIGH TRANSPARENCY SCREENS; PHANTOM SCREENS
- PUSH OUT HANDLES (EXCEPT AT K TYPE WINDOWS, CRANK HARDWARE)
- BRUSHED CHROME ON ALL HARDWARE
- WINDOWS GLAZING TO MEET:
 - AT FIXED WINDOWS - U FACTOR OF .36 MAX, RSHGC .25 MAX
 - AT OPERABLE WINDOWS - U FACTOR OF .46 MAX, RSHGC .22 MAX
 - AT GLAZED SWING DOORS - U FACTOR OF .45, SHGC .23 MAX
 - AT GLAZED FOLDING DOORS - U FACTOR OF .77, SHGC .70 MAX
 - AT SKYLIGHTS - U FACTOR OF .59 MAX, SHGC .25 MAX
- SKYLIGHTS TO BE VELUX (OR EQUAL) SIZE AND OPERATION AS NOTED
- WINDOWS ARE VIEWED FROM THE EXTERIOR

ADDITIONAL NOTES FOR ALTERNATE JEN WELD PRODUCTS:
EXTERIOR FINISH TO BE "LUXURY BRONZE"
PRIMED INTERIOR, SQUARE STICKING, 5/8" SQUARE SDLS WITH BLACK SPACER
DOORS 106 AND 107 AND WINDOW F TO BE "SEA FOAM"
EXTERIOR FINISH

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ISSUE / REVISION		
Date	Description	No.
12.16.19	ISSUE FOR PERMIT	
12.30.19	ISSUE FOR PRICING	
03.25.20	SCOPE REVISIONS	
05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
08.03.20	ISSUE FOR CONSTRUCTION	3
09.15.20	COORDINATION / REVISION	4

PROJECT NO. 19004

DATE 12.16.2019

SCALE 1/4" = 1'-0"

SHEET TITLE

SCHEDULES
DOOR / WINDOW

SHEET NO.

A7.0

APPLIANCE, ACCESSORY AND EQUIPMENT SCHEDULE					
MARK	DISCRIPTION	OFOI / OFOI	MODEL / MATERIAL	MANUFACTURER	NOTES
A1	DISHWASHER	OFOI			OFOI, RESIDENTIAL ENERGY STAR REQUIRED, MAX 4.25 GAL/CYCLE
A2	COMMERCIAL FREEZER	OFOI			EXISTING TO BE RE-USED
A3	COMMERCIAL REFRIGERATOR	OFOI			EXISTING TO BE RE-USED
A4	GAS BURNING OUTDOOR FIREPLACE		VENETIAN SERIES, 42"	ASTRIA	WARM RED SPLIT STACKED MASONRY BRICK LINER
AC1	HOOKS				OFOI, PROVIDE BACKING
AC2	TOWEL DISPENSER - RECESSED		B-359033	BOBRICK	
AC3	BABY CHANGING STATION		KB110-SSWM / STAINLESS STEEL	KOALA KARE PRODUCTS	
AC4	Circular Waste Chute, Surface-Mounted		B-532	BOBRICK	
AC5	MIRROR WITH SHELF		B-292 - CUSTOM / SATIN STAINLESS STEEL	BOBRICK	24" X 48"
AC6	Towel Dispenser/Waste Receptacle		B-30003 / STAINLESS STEEL	BOBRICK	
AC7	FOLDING SHOWER SEAT		B-5191	BOBRICK	
AC8	Grab Bars		B-5806 / SATIN FINISH STAINLESS STEEL	BOBRICK	
AC9	Grab Bars		B-5806 / SATIN FINISH STAINLESS STEEL	BOBRICK	
AC10	Grab Bars		B-5806 / SATIN FINISH STAINLESS STEEL	BOBRICK	
AC11	Recessed Toilet Seat Cover Toilet Tissue Dispenser and Sanitary Napkin Disposal Unit		B-3574	BOBRICK	
AC14	Restroom Partitions, Floor-Mounted with Overhead Brace		HINY HIDERS / COLOR TBD	SCRANTON PRODUCTS	
AC15	Shower Curtain and Rod		36" x 72"	BOBRICK	
AC16	MIRROR WITH SHELF		B-116 - CUSTOM / SATIN STAINLESS STEEL	BOBRICK	18" X 40"
EQ1	SS WORK TABLE	OFOI	WORK TABLE	ELKAY	30" X 72" WITH LOWER SHELF
EQ2	SS WALL SHELF WITH BRACKETS	OFOI	WALL SHELF	Eagle Group / ELKAY	13" X 66"

EMERGENCY EQUIPMENT SCHEDULE (OWNER PURCHASED, OWNER INSTALLED)

MARK	DESCRIPTION	QUANTITY	MANUFACTURER / PRODUCT #	COLOR / SIZE	NOTES
EM1	WATER STORAGE 100 PEOPLE, 3 DAYS	2	ESSENTIAL PACKS	27'X27'X41" HIGH	https://www.emergencykits.com/emergency-kits/school-emergency-kits/emergency-water-supply-module-for-schools-100-student/
EM2	SHELTER CART	2	PROPAC CART	28.5' X 46" X 72" HIGH	STOCKED WITH COTS / BEDDING IN CONDITIONED SPACE https://propacusa.com/product/open-access-shelter-cart/
EM2	WATER STORAGE CONTAINER 10 PACK, 35 GALLONS	2	WATER BRICK	16" X 18" X 4" HIGH STACK	https://www.waterbrick.org/product/10-pack-waterbrick-standard-5.5-gallon-blue/
EM4	FOOD STORAGE 200 PEOPLE 3 DAYS	1	ESSENTIAL PACKS	27'X27'X41" HIGH	https://www.emergencykits.com/emergency-kits/school-emergency-kits/emergency-food-supply-module-for-schools-200-student/
EM7	PORTABLE GENERATOR	3		23'X19.5'X17.5' HIGH	IN CERT STORAGE https://www.homedepot.com/p/Sportsman-4-000-3-500-Watt-Gasoline-Powered-Portable-Generator-with-RV-Outlet-801187206403590/
EM6	SATELLITE PHONE	1			LOCATED IN LEASE OFFICE, EMERGENCY POWER
EM7	RADIO BASE STATION AND RADIOS	1/7			LOCATED IN LEASE OFFICE, EMERGENCY POWER
EM8	NOAA WEATHER RADIO	1			LOCATED IN LEASE OFFICE, EMERGENCY POWER
EM9	MERA SCANNER	1			LOCATED IN LEASE OFFICE, EMERGENCY POWER
EM10	HAM RADIO	1			LOCATED IN LEASE OFFICE, EMERGENCY POWER

SEE MEETING NOTES 08.22.2019 FOR ADDITIONAL EQUIPMENT TO BE STORED ON SHELVES IN CERT STORAGE

MATERIAL SCHEDULE

LOCATION	DESCRIPTION	MANUFACTURER / PRODUCT #	COLOR / SIZE	NOTES
ROOF	ASPHALT SHINGLE ROOFING CLASS A	CERTAIN TEED LANDMARK SOLARIS	WEATHERED WOOD 0668-0119	SRI OF LESS THAN 75 INSTALL PER MANUFACTURER'S INSTRUCTIONS
ROOF	RIGID INSULATION	OWENS CORNING TAMULAR THERMAPINK25		COMPLY WITH CAL GREEN A5 504.4.8 COMPLY WITH T24, CHAPTERS 12-13 VOC EMISSION LIMITS PER 2009 CHPS CRITERIA MEET SPECIFICATION 01350 INSTALL PER MANUFACTURER'S INSTRUCTIONS
ROOF	SPRAY FOAM INSULATION	ICYACNE PROSEAL		COMPLY WITH CAL GREEN A5 504.4.8 COMPLY WITH T24, CHAPTERS 12-13 VOC EMISSION LIMITS PER 2009 CHPS CRITERIA MEET SPECIFICATION 01350 INSTALL PER MANUFACTURER'S INSTRUCTIONS
WALLS	INSULATION	OWENS CORNING ECO TOUCH		COMPLY WITH CAL GREEN A5 504.4.8 COMPLY WITH T24, CHAPTERS 12-13 VOC EMISSION LIMITS PER 2009 CHPS CRITERIA MEET SPECIFICATION 01350 INSTALL PER MANUFACTURER'S INSTRUCTIONS
WALLS	EXTERIOR FINISH	JAMES HARDIE / HARDIPANEL VERTICAL SIDING AND TRIM	SMOOTH	INSTALL PER MANUFACTURER'S INSTRUCTIONS / RAINSCREEN
WALLS	EXTERIOR FINISH	PORTLAND CEMENT PLASTER	MATCH (E) FINISH	

MATERIAL NOTES

- SEE CAL GREEN CHECKLIST SHEETS FOR ADDITIONAL REQUIREMENTS
- ALL COMPOSITE WOOD PRODUCTS TO BE APPROVED BY CALIFORNIA AIR RESOURCE BOARD AS NO ADDED FORMALDEHYDE (NAF) OR ULTRA-LOW EMITTING FORMALDEHYDE (ULEF) MAINTAIN DOCUMENTATION OF SAME

ROOM FINISH SCHEDULE

ROOM NO	ROOM NAME	FLOOR	BASE	N	W	S	E	CLG	CASEWORK	NOTES
106	LEGENDS PAVILION	CONC1	P5	P1	P1	P1	P1	WD2 / P10	N/A	INTERIOR DOORS TO BE P5. SEE ELEVATION FOR ADDITIONAL DETAIL, EXTERIOR DOORS TO BE P11
107	FOUNDERS ROOM	CONC1	P5	P1	P1	P1	P1	P2 / P10		WD2 AT TRUSSES OR P10, TRIM, INTERIOR DOORS AND CHAIR RAIL, TO BE P5. SEE ELEVATION FOR FRIEZE DETAIL, EXTERIOR DOORS TO BE P11
108	ENCLOSED PORCH	CONC1	P5	P5	P5	P5	P5	P3	N/A	WOOD PANELING TO BE P5, BASE AND TRIM AT WALLS WITH PANELING TO MATCH
110	LEASE OFFICE	CPT	P5	P1	P1	P1	P1	P2	WD1/PLAM1	
111	TOILET	CONC1	CT4	CT4/P6	CT4/P6	CT4/P6	CT4/P6	P7		
112	VEST	CONC1	P5	P1	P1	P1	P1	P7		
114	WARMING KITCHEN	CONC1	P5	P1/CT2	P1	P1	P1/CT2	P2	WD1/PLAM1/SS	
115	STORAGE	CONC1	P5	P1	P1	P1	P1	P2		
116	FLEX USE ROOM	CONC1	P5	P1	P1	P1	P1	P2	P5	
118	HALL	CONC1	P5	P1	P1	P1	P1	P2		
119	W RESTROOM	EF1	EF1	P6	P6	P6/CT1	P6	P2		
120	M RESTROOM	EF1	EF1	P6/CT1	P6	P6	P6	P2		
121	JANITOR	EF1	EF1	P6	P6	P6	P6	P2		
123	MECH	(E) CONC	P5	P1	P1	P1	P1	P2		
124	CERT STORAGE	CONC2	P5	P1	P1	P1	P1	P2		
124.1	STORAGE / SERVICE	CONC2	P5	P1	P1	P1	P1	P2		

FINISH NOTES

- SEE CAL GREEN CHECKLIST SHEET T2.0 FOR ADDITIONAL FINISH MATERIAL REQUIREMENTS, ITEMS IN SECTION 5.504.4.
- ALL INTERIOR FINISHES TO BE MINIMUM CLASS C PER CBC TABLE 803.9.

FINISH LEGEND

MARK	DESCRIPTION	MANUFACTURER / PRODUCT #	COLOR / SIZE	NOTES
CONC1	STAINED AND SEALED CONCRETE	COMBINATION HARDENER AND SEALER, WESTCOAT	WALNUT - PROVIDE UP TO 4 SAMPLES	APPLY PER MANUFACTURER'S INSTRUCTIONS
CONC2	SEALED CONCRETE	COMBINATION HARDENER AND SEALER, WESTCOAT		APPLY PER MANUFACTURER'S INSTRUCTIONS
CPT	CARPET TILE		COLOR TO BE SELECTED BY ARCHITECT	RECYCLED CONTENT REQUIRED
CT1	CERAMIC TILE 1	FIRECLAY TILE	FRENCH LINEN 2X6	WALL TILE - RESTROOMS RECYCLED CONTENT REQUIRED
CT2	CERAMIC TILE 2	FIRECLAY TILE	TUSK 2X6	WALL TILE - KITCHEN RECYCLED CONTENT REQUIRED
CT3	CERAMIC TILE 3	FIRECLAY TILE	DRIFTWOOD 2X6	WALL TILE - NOT USED
CT4	CERAMIC TILE 3	FIRECLAY TILE	MILKYWAY 2X6	WALL TILE - TOILET ROOMS RECYCLED CONTENT REQUIRED
EF1	RESINOUS FLOORING - EPOXY	WEST COAT DUBRO QUARTZ	CAPPUCCINO SEALED WITH 2 COATS EC-32	RESTROOM FLOORING - COVE BASE, 4"
P1	PAINT COLOR 1	BENJAMIN MOORE OR EQUAL EGGSHELL	DUNE WHITE 968	WALL COLOR - FOUNDERS ROOM / LEGENDS ROOM
P2	PAINT COLOR 2	BENJAMIN MOORE OR EQUAL FLAT	CHANTILLY LACE 2121-70	CEILING COLOR
P3	PAINT COLOR 3	BENJAMIN MOORE OR EQUAL SATN	CHANTILLY LACE 2121-70	UNDERSIDE OF EAVES
P4	PAINT COLOR 4	BENJAMIN MOORE OR EQUAL EGGSHELL	GALLERY BUFF CSP-225	CEILING COLOR VESTIBULE
P5	PAINT COLOR 5	BENJAMIN MOORE OR EQUAL SATN	DUNE WHITE 968	TRIM / DOORS AND CASEWORK FLEX USE ROOM
P6	PAINT COLOR 6	BENJAMIN MOORE OR EQUAL LOW SHEEN	DUNE WHITE 968	WALL COLOR - TOILET ROOMS, LIBRARY, LOCKER ROOMS
P7	PAINT COLOR 7	BENJAMIN MOORE OR EQUAL EGGSHELL	RALEIGH PEACH CW-205	CEILING COLOR - TOILET ROOM
P8	PAINT COLOR 8	BENJAMIN MOORE OR EQUAL LOW SHEEN	MIDSUMMER NIGHT 2134-20	FACIA / COLUMNS / GUTTERS
P9	PAINT COLOR 9	BENJAMIN MOORE OR EQUAL LOW SHEEN	WHITE DOVE OC-17 OR CAPITAL WHITE	EXTERIOR WALLS
P10	PAINT COLOR 10	BENJAMIN MOORE OR EQUAL SATN	RANDOLPH GRAY CW-85	TRUSSES / BEAMS
P11	PAINT COLOR 11	BENJAMIN MOORE OR EQUAL SATN	MIDSUMMER NIGHT 2134-20	WINDOWS / SASH AN S MULLIONS INTERIOR OF EXTERIOR DOORS
P12	PAINT COLOR 12	BENJAMIN MOORE OR EQUAL LOW SHEEN	TEMPTATION 1609 OR WITCHING HOUR 2120-30 TBD	EXTERIOR WALLS LEGENDS ROOM
P13	PAINT COLOR 13	BENJAMIN MOORE OR EQUAL SATN		
WD1	WOOD FINISH	COLUMBIA PRODUCTS EUROPLY PLUS	PREFINISHED WALNUT PLYWOOD, MULTICORE	KITCHEN CABINETS
WD2	WOOD FINISH			STAINED AT (E) TRUSSES, STEEL ROD TO BE PAINTED BLACK
SS	STAINLESS STEEL	JUST MANUFACTURING OR EQUAL	STAINLESS STEEL COUNTERTOP, 4" BACKSPLASH	INTEGRAL SINK
PLAM1	PLASTIC LAMINATE	FORMICA	GRAPHITE 837-58 MATTE FINISH	COUNTERTOPS IN OFFICES EXPOSED MULTI COPE PLY EDGE
SSUR	SOLID SURFACE MATERIAL	DARK GREY - TBD CEASARSTONE #2003 OR EQUAL		ALT FOR KITCHEN COUNTERTOP

PLUMBING FIXTURE SCHEDULE

MARK	DISCRIPTION / SIZE	MODEL# (S)	MANUFACTURER	NOTES
DF-1	DRINKING FOUNTAIN / BOTTLE FILLER	EZSDWSSK	Elkay	
DF-2	DRINKING FOUNTAIN / BOTTLE FILLING STATION	LK4438FJU	Elkay	OUTDOOR BOTTLE FILLING STATION, COLOR TO BE SELECTED BY ARCHITECT (BLUE OR BLACK)
LAV-1	DECOLUM WALL HUNG LAV	9024.001EC	AMERICAN STANDARD	WHITE, FAUCET TO BE KOHLER, KUMIN K-98827-4-CP
LAV-2	WALL HUNG CONCRETE DOUBLE SINK	FLO-72C-DBL-ADA	TRUEFORM	PEWTER, FAUCETS TO BE KOHLER, KUMIN K-98827-4-CP
SH-2	SHOWER COLUMN KIT, ARTIFACTS	K-7642-G	KOHLER Co.	PROVIDE TEMP RITE VALVE WITH LEVER HANDLE
SH-3	3 STATION COLUMN SHOWER	700	ACORN MANUFACTURING	WITH PUSH BUTTON CONTROL
SK-1	BAR SINK	US-ADA-1618-A	JUST MFG	FAUCET TO BE KOHLER MALLECO, KR562-SD
SK-2	DOUBLE BOWL SINK			REINSTALL (E) SALVAGED SINK, FAUCET TO BE KOHLER MALLECO, KR562-SD, PROVIDE DISPOSAL ONE SIDE
SK-3	AKRON SERVICE SINK	7695.008	AMERICAN STANDARD	FAUCET TO BE KOHLER TRITON BOWE, K-830T10-5A
UR-1	BARDON HIGH EFFICIENCY URINAL	K-4991-ETSS-0	KOLHER	
WC-1	ADAIR COMFORT HEIGHT, ELONGATED TOILET	K-3946-0	KOHLER Co.	WHITE, FLUSH LEVER TO BE LOCATED ON WIDE SIDE OF TOILET, SEE PLANS

NOTES:

- FOR SH-2 PROVIDE ALTERNATE WITH BRADLEY TOUCH TIMED SHOWER VALVE, SHOWER HEAD AND HANDHELD SHOWER
- ALL NEW TOILETS TO BE 1.28GPF, SHOWERHEADS TO BE 2.0GPM, URINALS TO BE .125GPF
- CONTRACTOR TO CONFIRM THAT ALL FIXTURES TO REMAIN COMPLY WITH CA CIVIL CODE 1101.3; TOILETS MUST BE NO MORE THAN 1.6GPF URINALS MUST BE NO MORE THAN 1GPF SHOWERHEADS MUST BE NO MORE THAN 2.5GPF FAUCETS MUST BE NO MORE THAN 2.2GPM

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PROJECT NO.

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SCALE

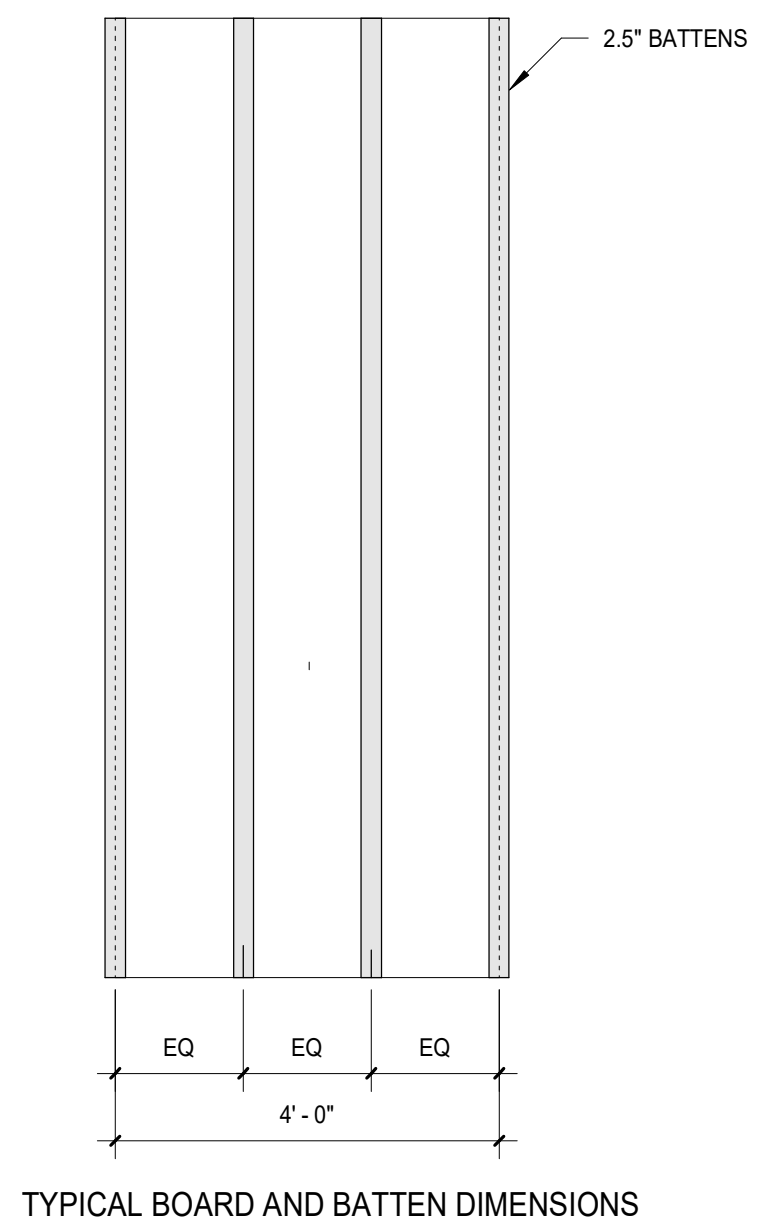
1/4" = 1'-0"

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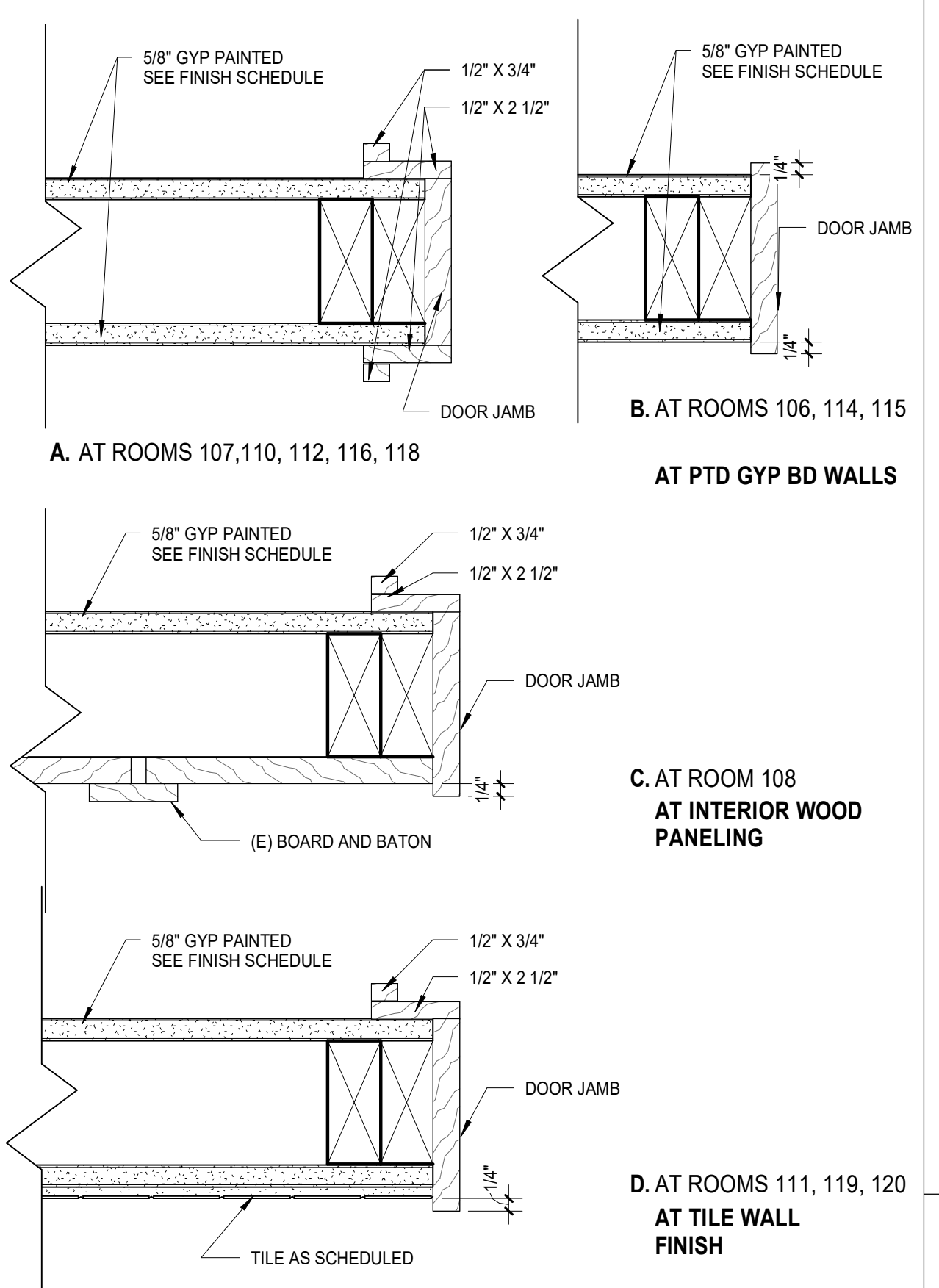
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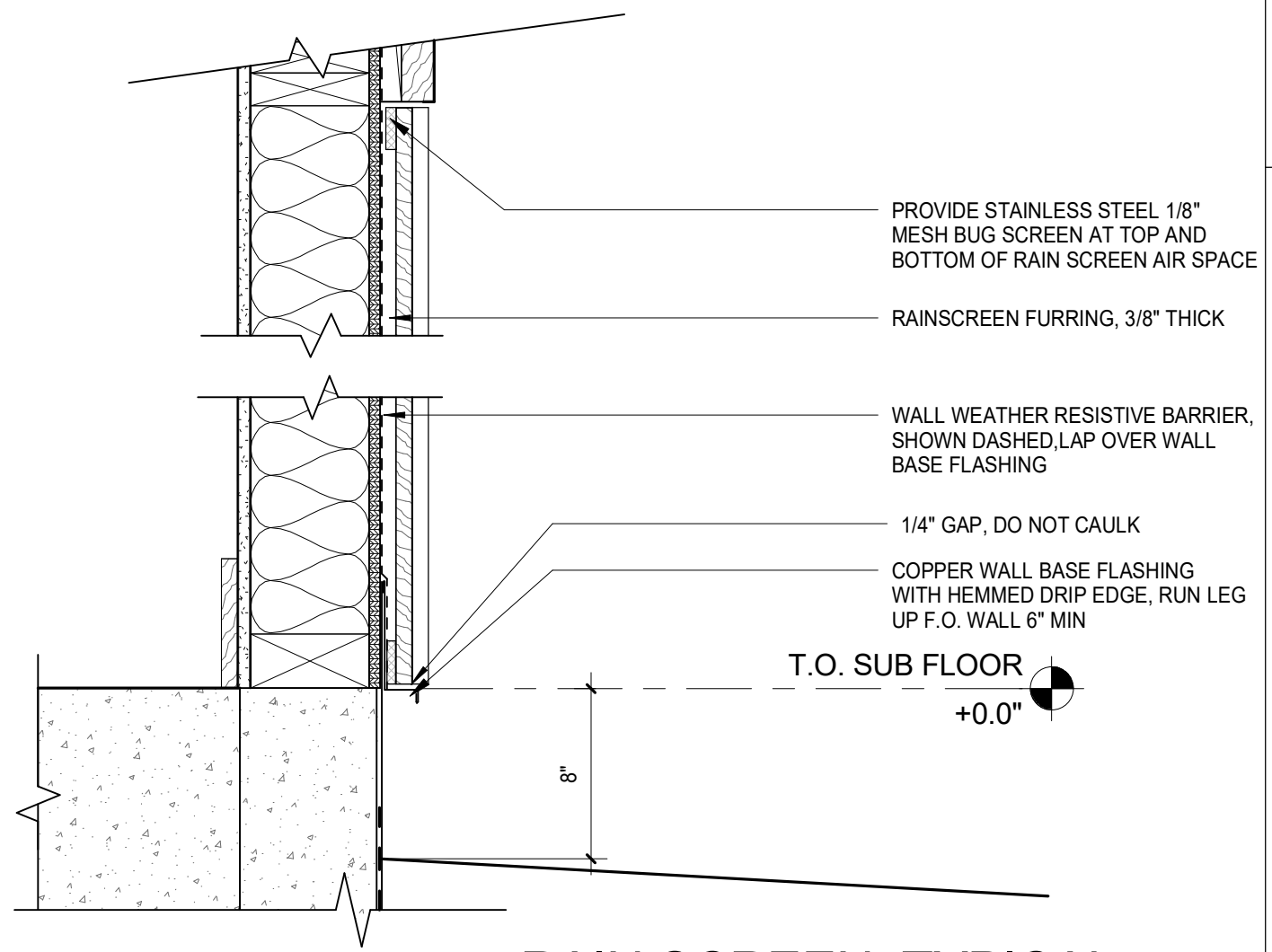
A7.1



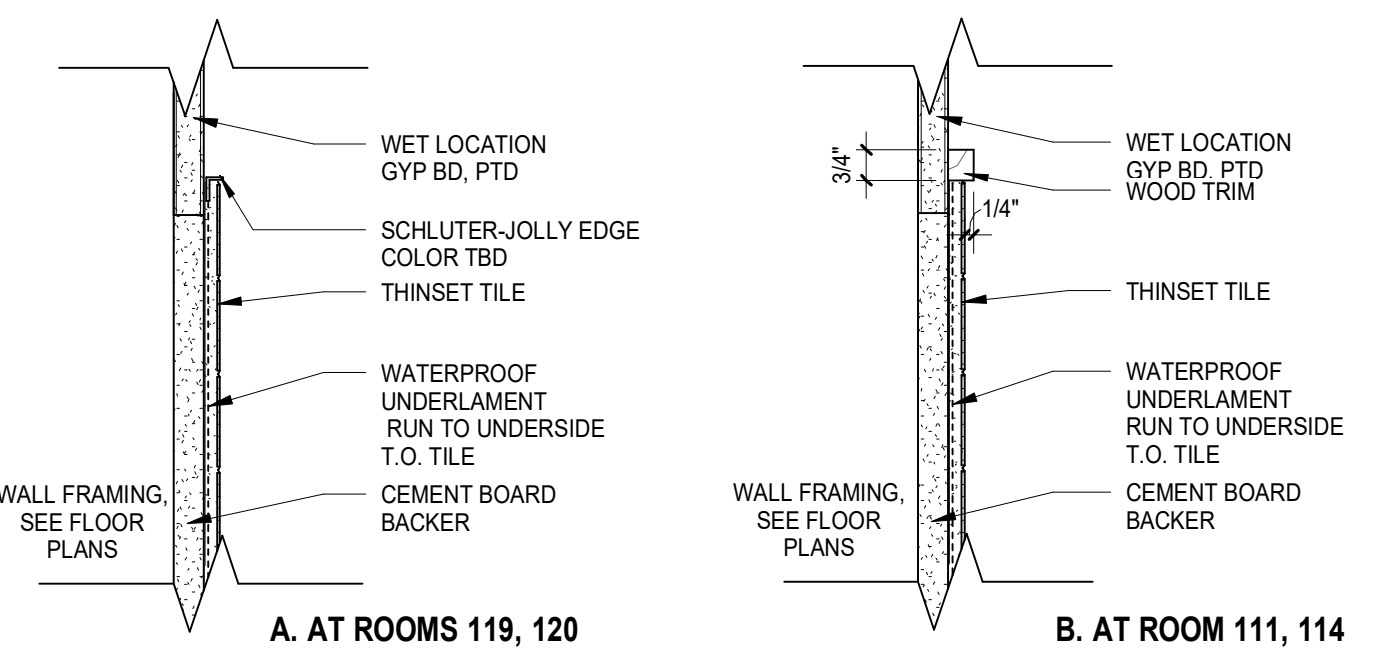
BOARD AND BATTEN DIMENSIONS / LAYOUT
SCALE: 1/2" = 1'-0" **C4**



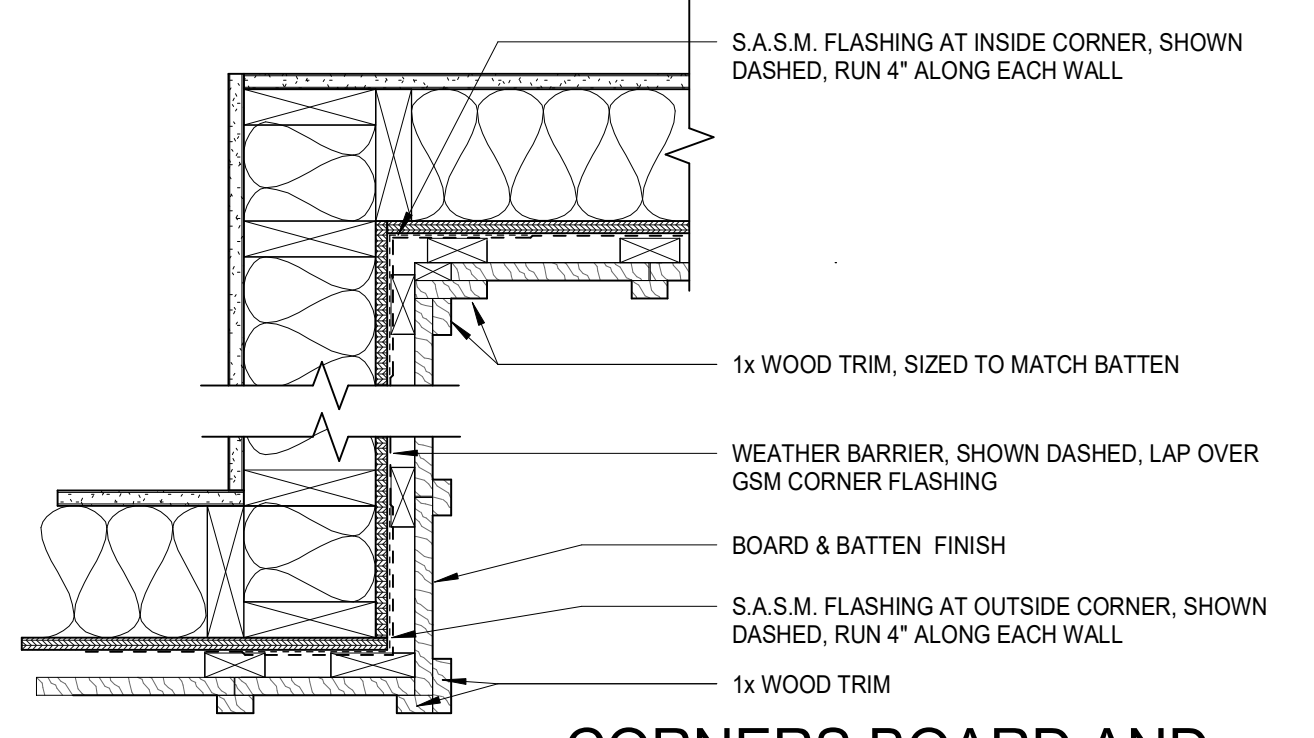
INTERIOR DOOR / OPENING JAMB DETAILS
SCALE: 3" = 1'-0" **C3**



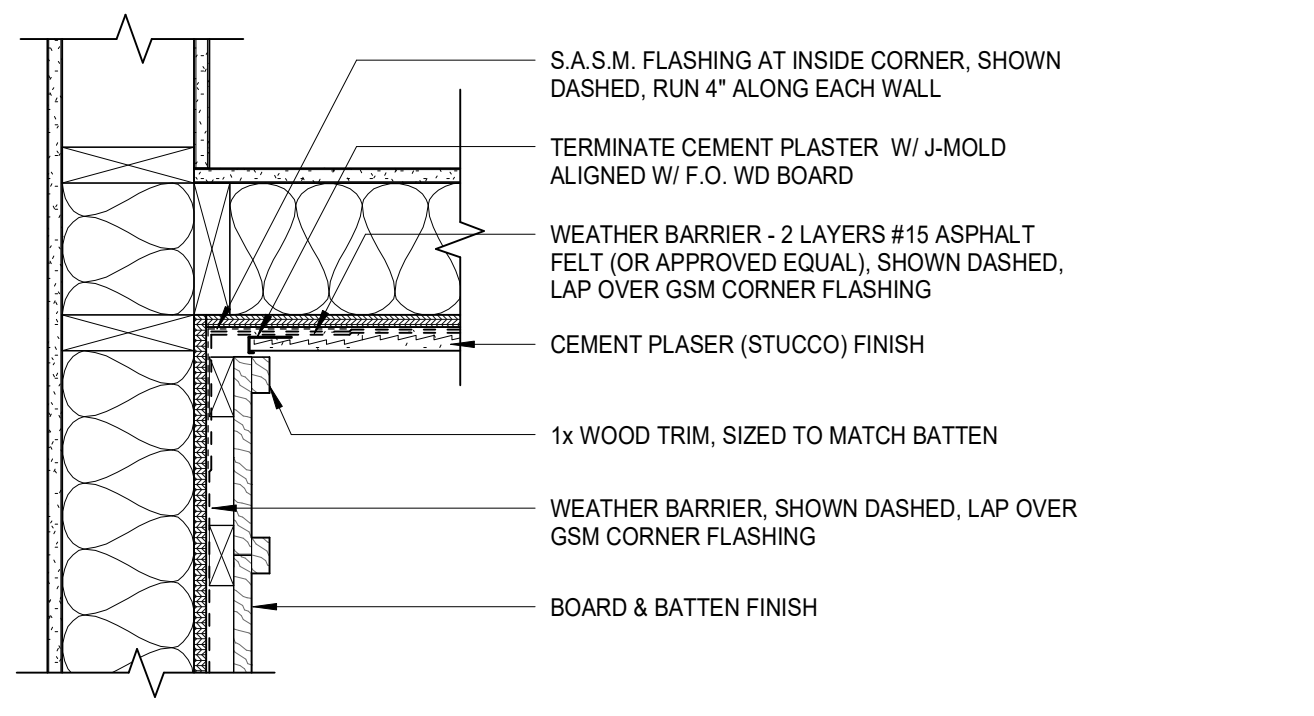
RAIN SCREEN, TYPICAL
SCALE: 1 1/2" = 1'-0" **B4**



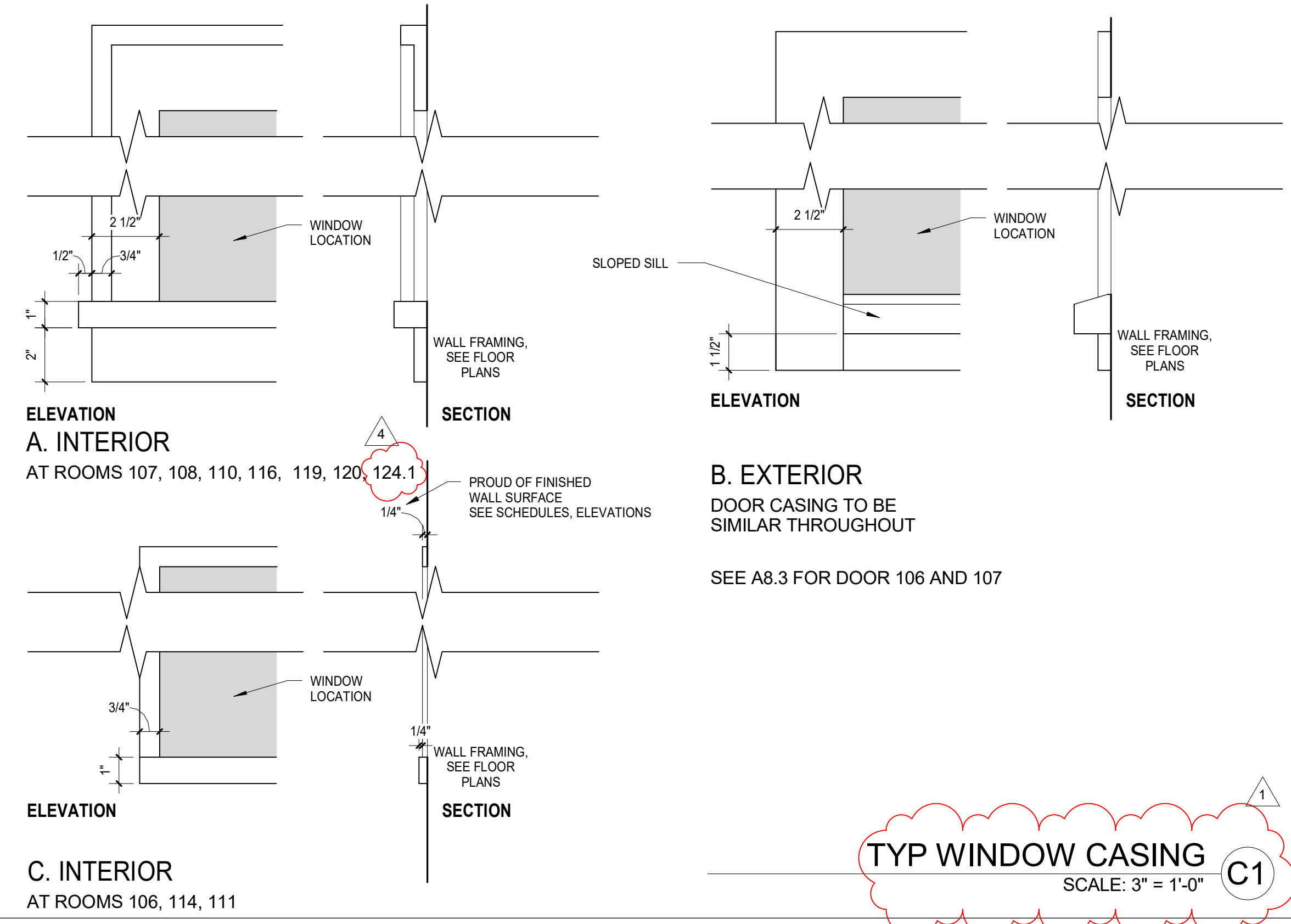
TILE TO GYP BD
SCALE: 3" = 1'-0" **B3**



CORNERS BOARD AND BATTEN
SCALE: 1 1/2" = 1'-0" **A4**



INSIDE CORNER SIDING / PLASTER
SCALE: 1 1/2" = 1'-0" **A3**



TYP WINDOW CASING
SCALE: 3" = 1'-0" **C1**

PARTITION TYPE: EXTERIOR A / A1 FIRE RATING: NONE TEST REF: N/A SOUND RATING: N/A TEST REF: N/A	<ul style="list-style-type: none"> 7/8" 3 COAT CEMENT PLASTER W/ INTEGRAL COLOR OVER LATH WEATHER BARRIER - 2 LAYER BLDG PAPER CDX PLWD, SSD 2X6 FRAMING, S.S.D. FOR SPACING EXISTING WALL FRAMING AT A1 BATT INSULATION - R13 1 LAYER 5/8" GYPSUM BOARD - LEVEL 5 FINISH, LEVEL 3 IN CLOSETS 		PARTITION TYPE: INTERIOR 1 FIRE RATING: NONE TEST REF: N/A SOUND RATING: N/A TEST REF: N/A	<ul style="list-style-type: none"> 2X4 FRAMING S.S.D. FOR SPACING 1 LAYER 5/8" GYPSUM BOARD LEVEL 5 FINISH, LEVEL 3 IN CLOSETS 	
PARTITION TYPE: EXTERIOR B FIRE RATING: NONE TEST REF: N/A SOUND RATING: N/A TEST REF: N/A	<ul style="list-style-type: none"> HARDBOARD ASPYRE PANEL SHIPLAP HORIZONTAL SIDING, PAINTED 1X3 WOOD FURRING, VENTED AIR SPACE (3/8" MIN) WEATHER BARRIER - 1 LAYER BLDG PAPER 1532 CDX PLWD, S.S.D. 2X6 FRAMING, S.S.D. FOR SPACING BATT INSULATION - R13 1 LAYER 5/8" GYPSUM BOARD - LEVEL 5 FINISH, LEVEL 3 IN CLOSETS 		PARTITION TYPE: INTERIOR 2 FIRE RATING: NONE TEST REF: N/A SOUND RATING: N/A TEST REF: N/A	<ul style="list-style-type: none"> 2X4 FRAMING, S.S.D. FOR SPACING 1 LAYER 5/8" GYPSUM BOARD EACH SIDE LEVEL 5 FINISH, LEVEL 3 IN CLOSETS BATT INSULATION R13 	
PARTITION TYPE: EXTERIOR C / C1 FIRE RATING: NONE TEST REF: N/A SOUND RATING: N/A TEST REF: N/A	<ul style="list-style-type: none"> HARDBOARD BOARD AND BATTEN SIDING, PAINTED 1X3 WOOD FURRING, VENTED AIR SPACE (3/8" MIN) WEATHER BARRIER - 1 LAYER BLDG PAPER 1532 CDX PLWD, S.S.D. 2X6 FRAMING, S.S.D. FOR SPACING EXISTING FRAMING AT C1 BATT INSULATION - R13 1 LAYER 5/8" GYPSUM BOARD - LEVEL 5 FINISH, LEVEL 3 IN CLOSETS 		PARTITION TYPE: INTERIOR 3 FIRE RATING: NONE TEST REF: N/A SOUND RATING: N/A TEST REF: N/A	<ul style="list-style-type: none"> 2X6 FRAMING, S.S.D. FOR SPACING 1 LAYER 5/8" GYPSUM BOARD EACH SIDE LEVEL 5 FINISH, LEVEL 3 IN CLOSETS BATT INSULATION R13 	
PARTITION TYPE: EXTERIOR D FIRE RATING: NONE TEST REF: N/A SOUND RATING: N/A TEST REF: N/A	<ul style="list-style-type: none"> SPLIT FACE CMU TO MATCH EXISTING, SEE SSD PAINTED FINISH ON INTERIOR, SEE FINISH SCHEDULE 		PARTITION TYPE: INTERIOR 4 FIRE RATING: NONE TEST REF: N/A SOUND RATING: 46 TEST REF: BBN-700725	<ul style="list-style-type: none"> 2X FRAMING, S.S.D. FOR SPACING FURRING AS REQUIRED TO MATCH ADJACENT WALL 1 LAYER 5/8" GYPSUM BOARD EACH SIDE LEVEL 5 FINISH, LEVEL 3 IN CLOSETS BATT INSULATION, 3" MIN, R-13 	
PARTITION TYPE: EXTERIOR F FIRE RATING: NONE TEST REF: N/A SOUND RATING: N/A TEST REF: N/A	<ul style="list-style-type: none"> THIN BRICK OVER BRICKFAST PANELS, MC NEAR BRICK AND BLOCK, BRICK COLOR TBD, TO MATCH (E) BRICK CHIMNEY WEATHER BARRIER - 1 LAYER BLDG PAPER 1532 CDX PLWD, S.S.D. 2X6 FRAMING, S.S.D. FOR SPACING 		PARTITION TYPE: EXTERIOR E / E1 FIRE RATING: 1 HR TEST REF: CBC TABLE 721.1, 15-1.3 SOUND RATING: N/A TEST REF: N/A	<ul style="list-style-type: none"> 7/8" 3 COAT CEMENT PLASTER W/ INTEGRAL COLOR OVER LATH - (E) AT E1 WEATHER BARRIER - 2 LAYER BLDG PAPER (E) AT E1 (E) 2X4 FRAMING, VERIFY 16" OC NEW BATT INSULATION - R13 1 LAYER 5/8" TYPE "X" GYPSUM BOARD - LEVEL 5 FINISH, LEVEL 3 IN CLOSETS 	

WALL TYPES / DETAILS
SCALE: 1 1/2" = 1'-0" **A1**

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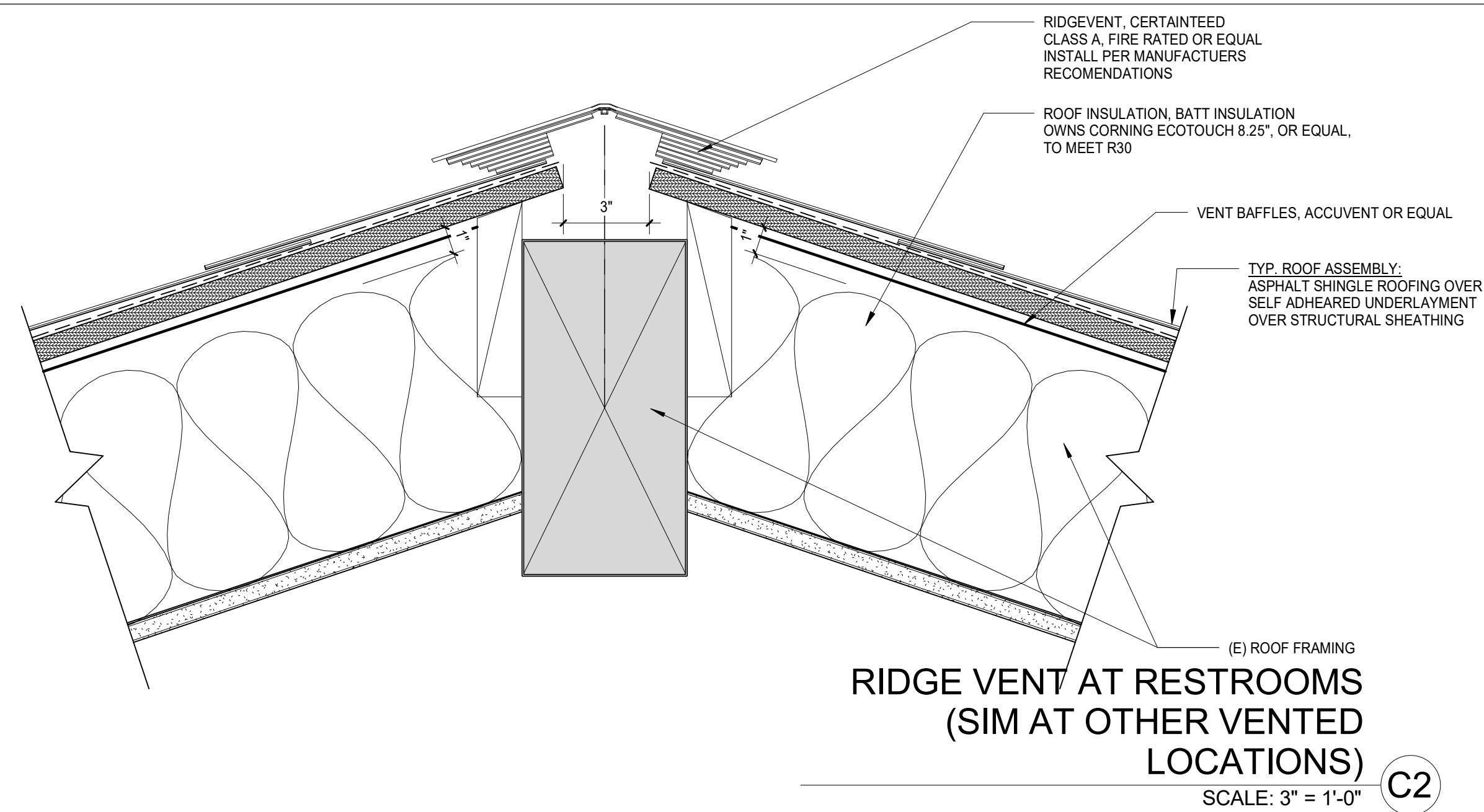
PROJECT NO. **19004**

DATE **12.16.2019**

SCALE **As indicated**

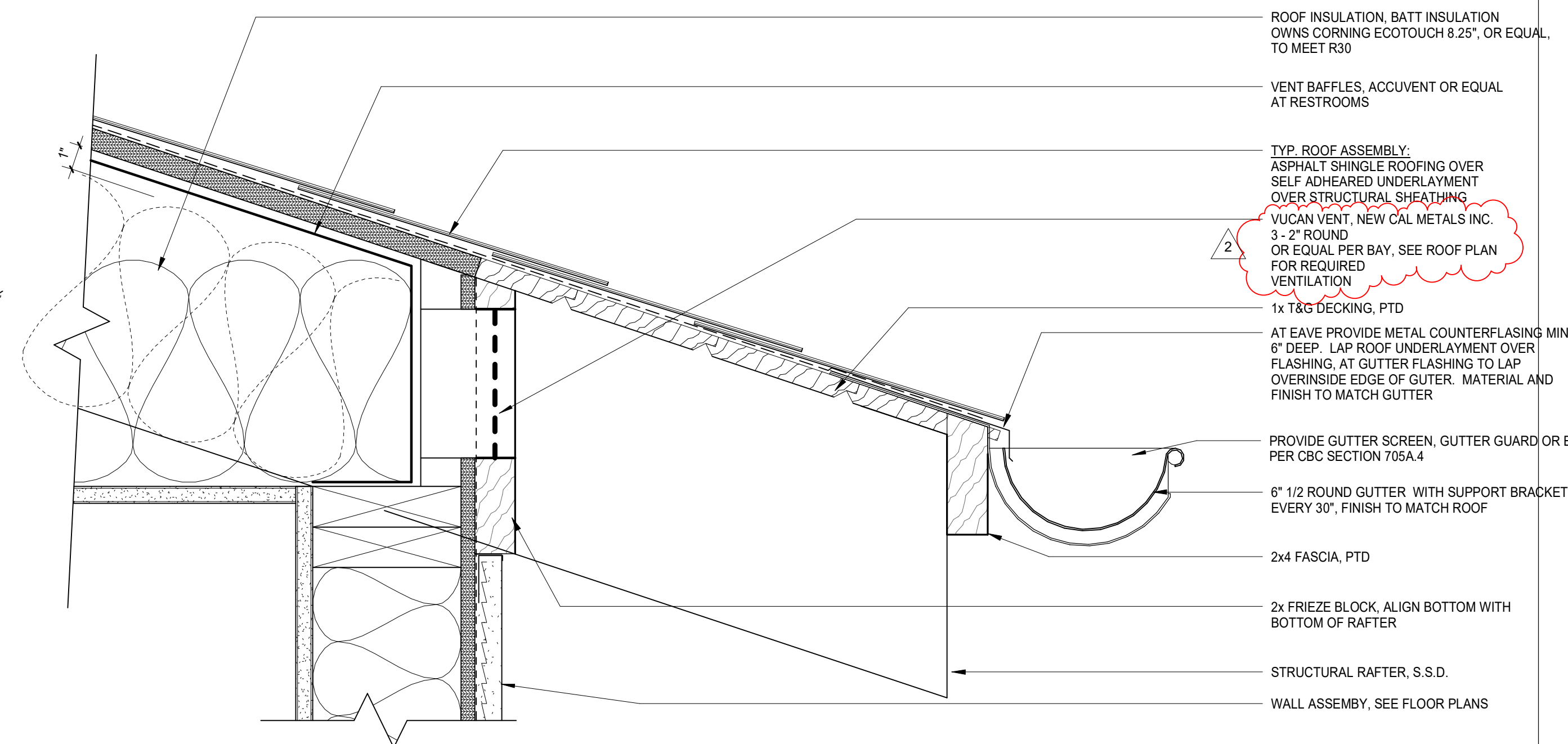
SHEET TITLE **WALL TYPES / DETAILS**

SHEET NO. **A8.0**



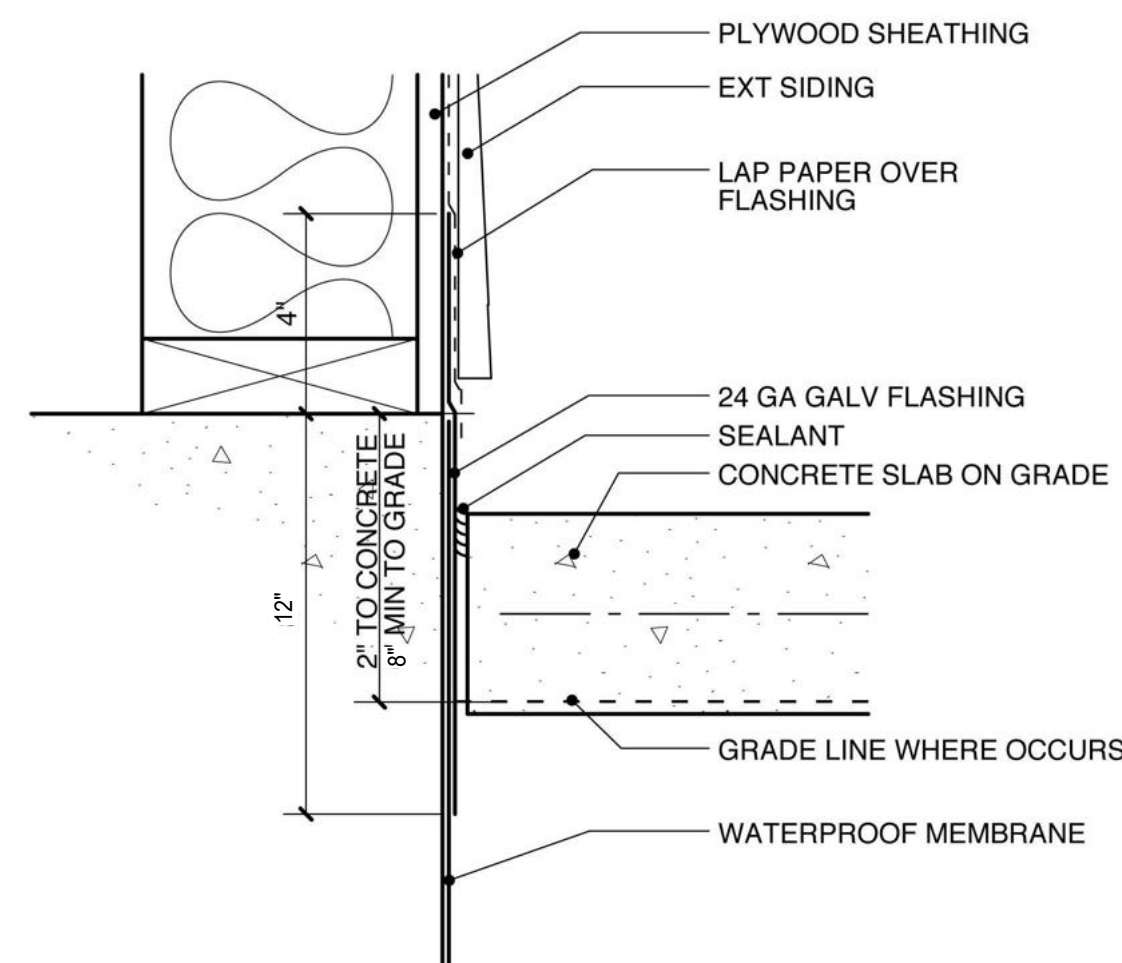
**RIDGE VENT AT RESTROOMS
(SIM AT OTHER VENTED
LOCATIONS)**

SCALE: 3" = 1'-0" **C2**



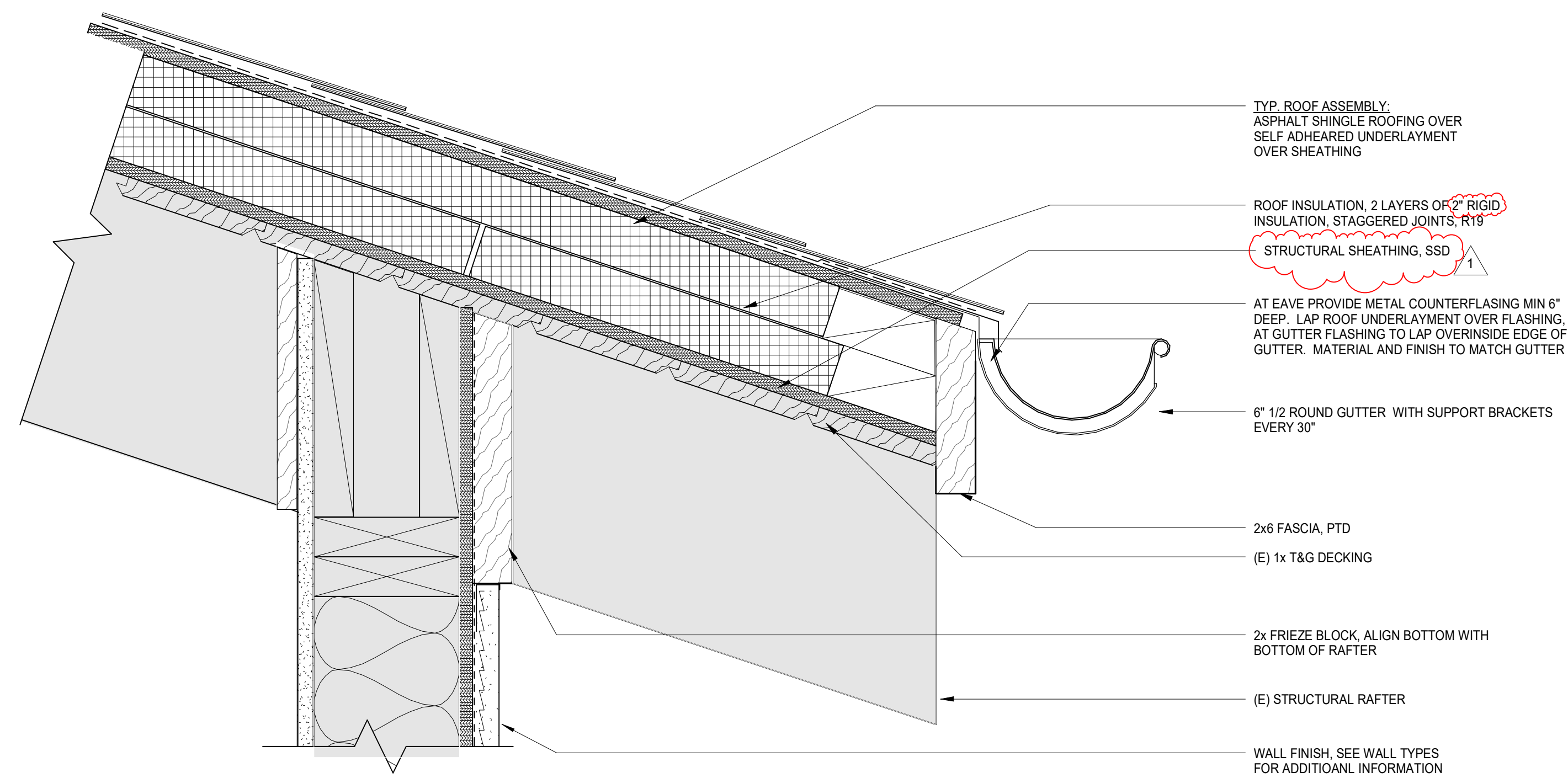
**TYPICAL EAVE AT DROPPED
CEILING (VOLUME CEILING AT
RESTROOMS SIM)**

SCALE: 3" = 1'-0" **C1**



FLASHING AT GRADE

SCALE: 3" = 1'-0" **A2**



**TYPICAL EAVE AT (E)
FOUNDERS ROOM ROOF
STRUCTURE**

SCALE: 3" = 1'-0" **A1**

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SCALE 3" = 1'-0"

SHEET TITLE

DETAILS

SHEET NO.

A8.1

STEP 1: SILL, JAMB & HEAD FLASHING

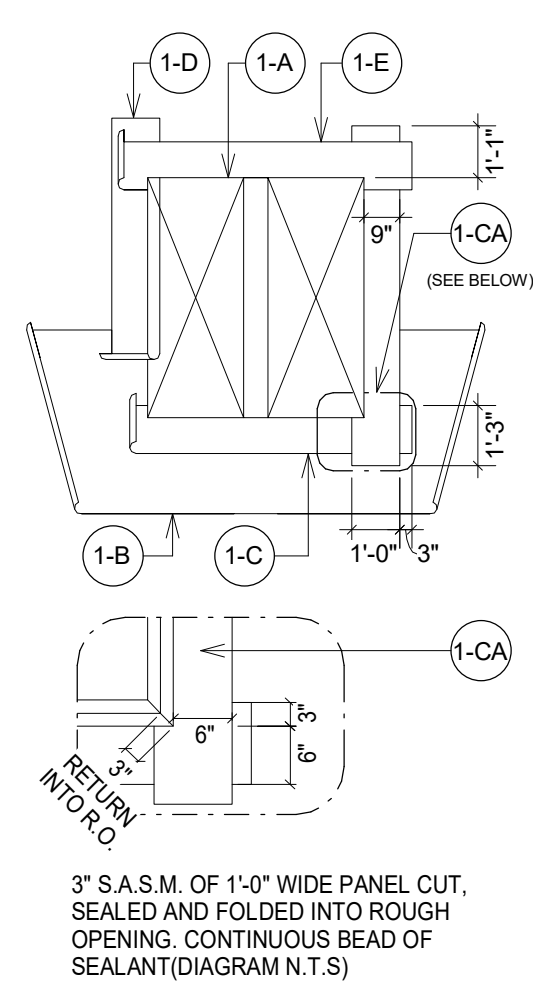
(1-A) CONSTRUCT ROUGH OPENING PER WINDOW MANUFACTURER INSTRUCTIONS. VERIFY SHEATHING CUT FLUSH WITH ROUGH OPENING AT ALL EDGES.

(1-B) INSTALL SHEATHING PAPER AT SILL. CUT IT SUFFICIENTLY LONG TO PROJECT BEYOND THE VERTICAL S.A.S.M. TO BE APPLIED AT STEP 1-D. NOTCH SHEATHING PAPER TO ACCOMMODATE WINDOW.

(1-C : 1-CA) INSTALL SELF ADHERING SHEET MEMBRANE (S.A.S.M.) AT SILL WITH 9" BELOW AND 3" BEYOND INTO THE ROUGH OPENING. EXTEND S.A.S.M. 3" BEYOND VERTICAL. S.A.S.M. TO BE APPLIED AT STEP 1-D. SEE DIAGRAM 1-CA FOR ADD'L INFO.

(1-D) APPLY S.A.S.M. AT JAMB SIMILAR TO STEP 1-C. CUT SUFFICIENTLY LONG TO PROJECT 4" BEYOND VERTICAL. S.A.S.M. TO BE APPLIED AT STEP 1-E.

(1-E) APPLY S.A.S.M. AT HEAD SIMILAR TO STEP 1-C.



3" S.A.S.M. OF 1'-0" WIDE PANEL CUT, SEALED AND FOLDED INTO ROUGH OPENING. CONTINUOUS BEAD OF SEALANT (DIAGRAM N.T.S.)

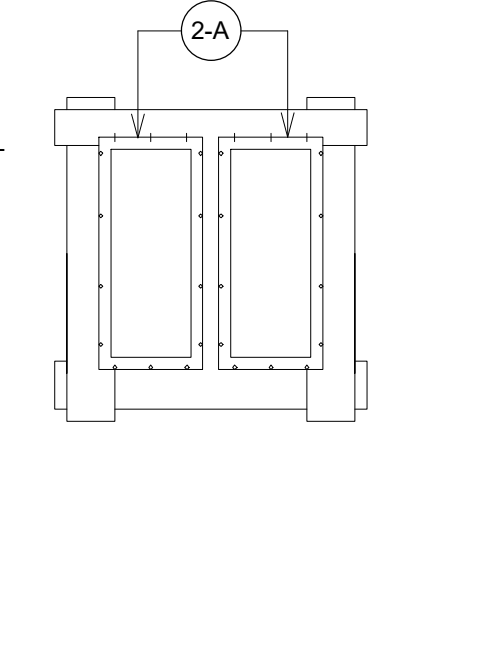
STEP 2: WINDOW INSTALLATION

(2-A) APPLY CONT. ELASTOMERIC SEALANT BEAD TO THE INTERIOR SIDE OF WINDOW NAIL FIN. APPLY ADDITIONAL SEALANT AT MITER CORNERS OF WINDOW FRAME (BACKSIDE). INSPECT WINDOW FINIS FOR DAMAGE. INSTALL WINDOW PER MANUFACTURER'S INSTRUCTIONS UNLESS OTHERWISE NOTED BY MANUFACTURER. INSTALL AS FOLLOWS:

-DO NOT FASTEN THROUGH HEAD FIN. NAIL 1/2" ABOVE FIN. BEND NAIL DOWN OVER HEAD FIN TO ALLOW FOR MOVEMENT. TAP DOWN SHARP EDGE OF NAIL HEAD TO AVOID DAMAGE TO FLASHING PAPER.

-MIN. 3 FASTENERS EACH SIDE AT 16" O.C. MAX. TYP.

-NO FASTENERS TO BE WITH 3" OF OUTSIDE CORNER OF FINIS

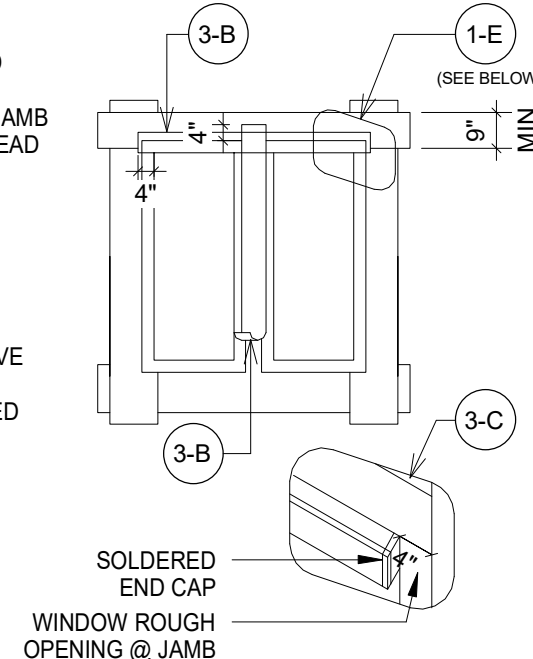


STEP 3: HEAD AND POST FLASHING

(3-A) WHERE OCCURS, APPLY VERTICAL STRIP OF MODIFIED BITUMINOUS SHEET WATERPROOFING MEMBRANE TO MULLIONS BETWEEN ADJACENT WINDOWS. OVERLAP JAMB FLANGES COMPLETELY. EXTEND 4" BEYOND TOP OF HEAD FLANGE AND 4" BEYOND BOTTOM OF SILL FLANGE.

(3-B) WHERE HEAD TRIM OCCURS, INSTALL SHEET METAL HEAD FLASHING WITH SOLDERED END CAPS. TYP. SEE DIAGRAM 3-C. INSTALL SHEET METAL FLASHING TO HAVE A 2" MIN. VERTICAL LEG, A HORIZONTAL LEG 1/8" DEEPER THAN HEAD TRIM, AND A VERTICAL 1/4" HEMMED BOTTOM EDGE. INSTALL S.A.S.M. OVER VERTICAL LEG OF SHEET METAL FLASHING. EXTEND SHT. METAL FLASHING 4" BEYOND JAMB ROUGH OPENING.

(3-C) SOLDERED END CAPS @ SHT.MTL. HEAD FLASHING

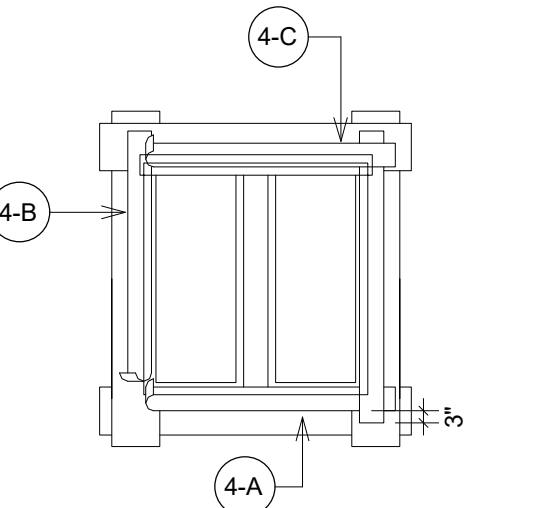


STEP 4: 2ND S.A.S.M. APPLICATION

(4-A) APPLY 6" WIDE STRIP S.A.S.M. AT SILL TO LAP NAIL FIN. CUT SUFFICIENTLY LONG TO PROJECT 3" BEYOND THE VERTICAL S.A.S.M. TO BE APPLIED AT STEP 4-B.

(4-B) CONTINUE INSTALLING 6" WIDE S.A.S.M. AT JAMB TO OVERLAP NAIL FIN. AND EXTEND 3" BEYOND SILL S.A.S.M.

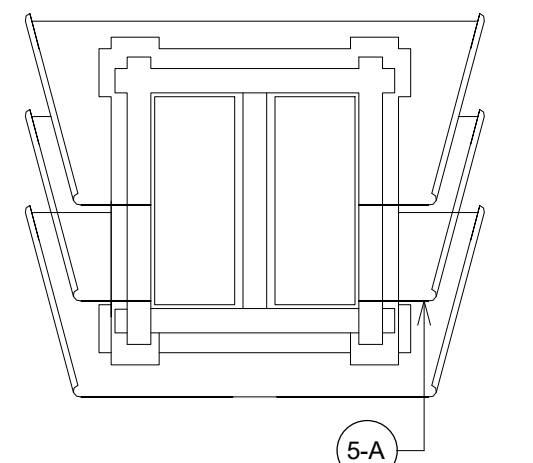
(4-C) INSTALL 6" S.A.S.M. AT HEAD TO OVERLAP SHT. MTL. HEAD FLASHING. EXTEND 3" BEYOND EDGE OF S.A.S.M. AT JAMB



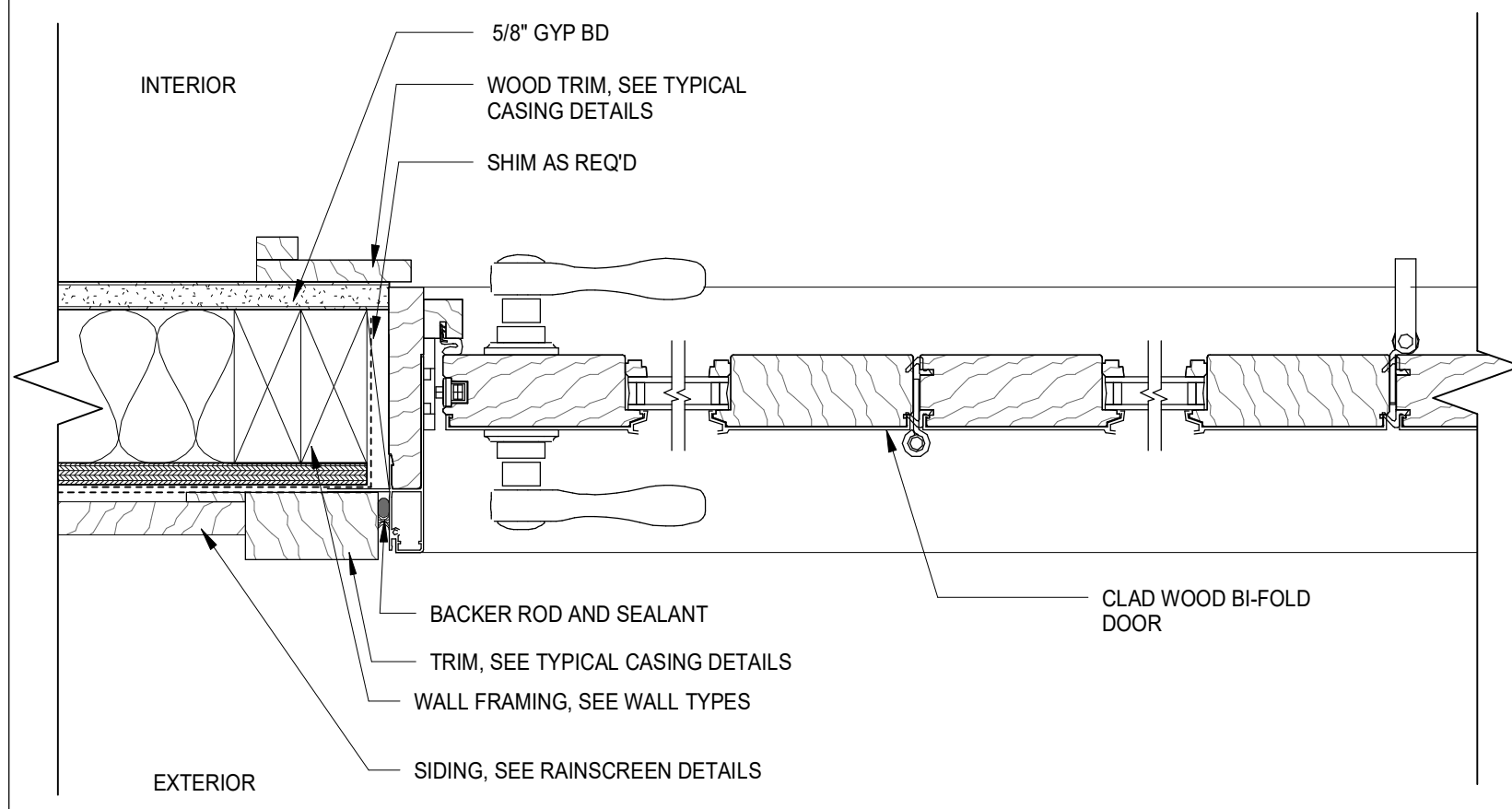
STEP 5: BUILDING PAPER APPLICATION

(5-A) INSTALL BUILDING PAPER, OVERLAP WEATHERBOARD FASHION FROM BOTTOM TO TOP OF WALL PER MANUFACTURER'S INSTRUCTIONS.

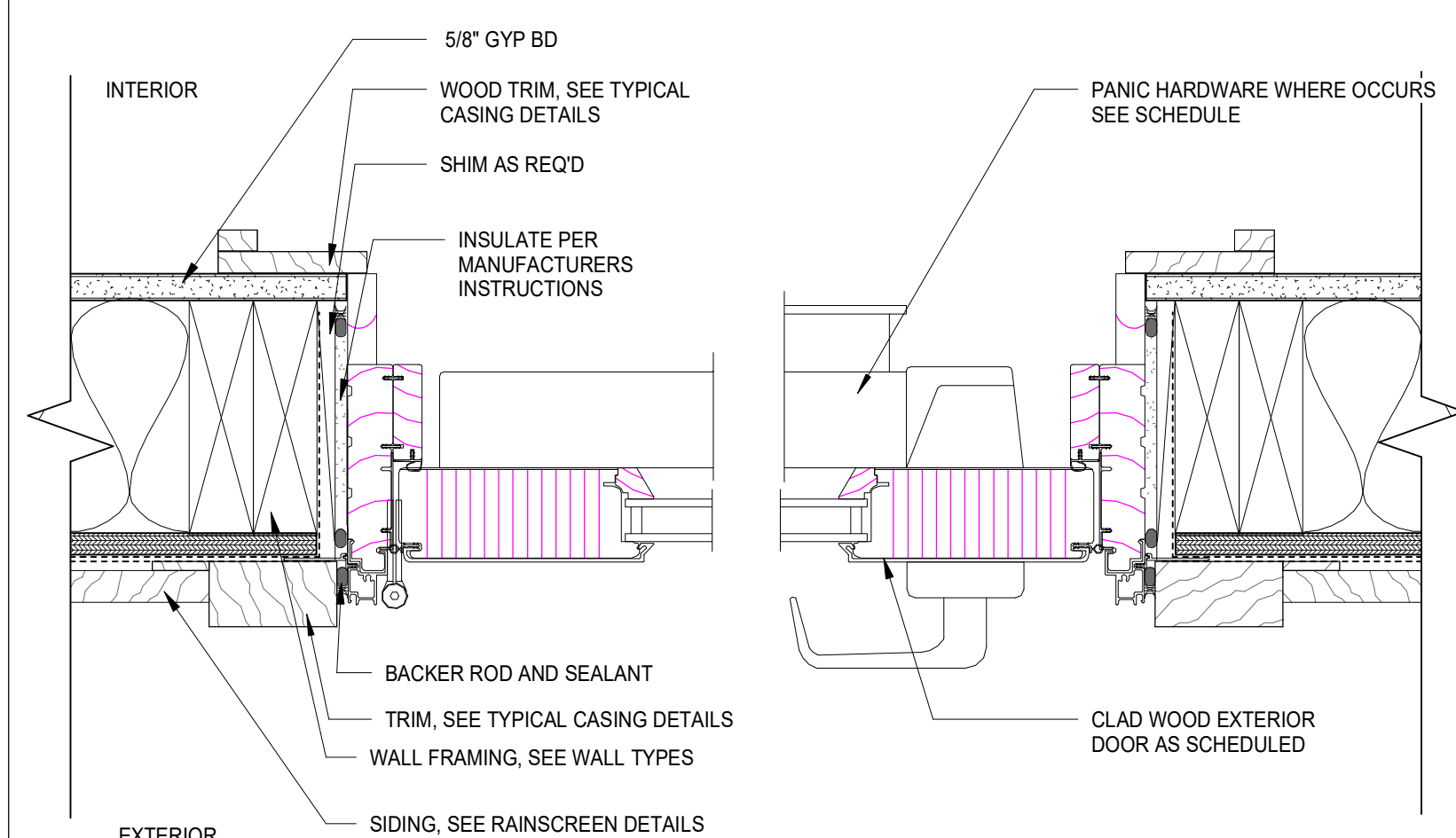
NOTE: DO NOT PENETRATE THE WINDOW NAIL FINIS WITH FASTENERS FOR SIDING OR TRIM



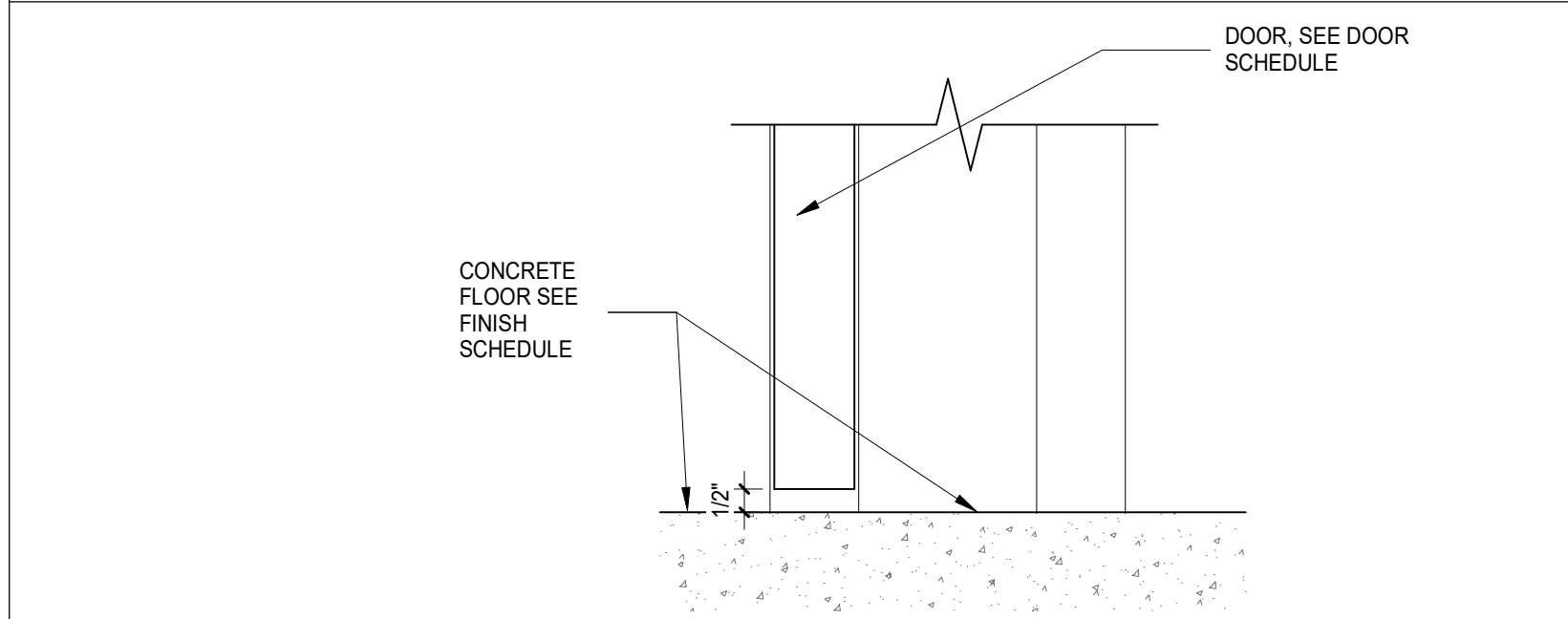
TYPICAL NAIL FIN INSTALLATION SCALE: 1/4" = 1'-0" A4



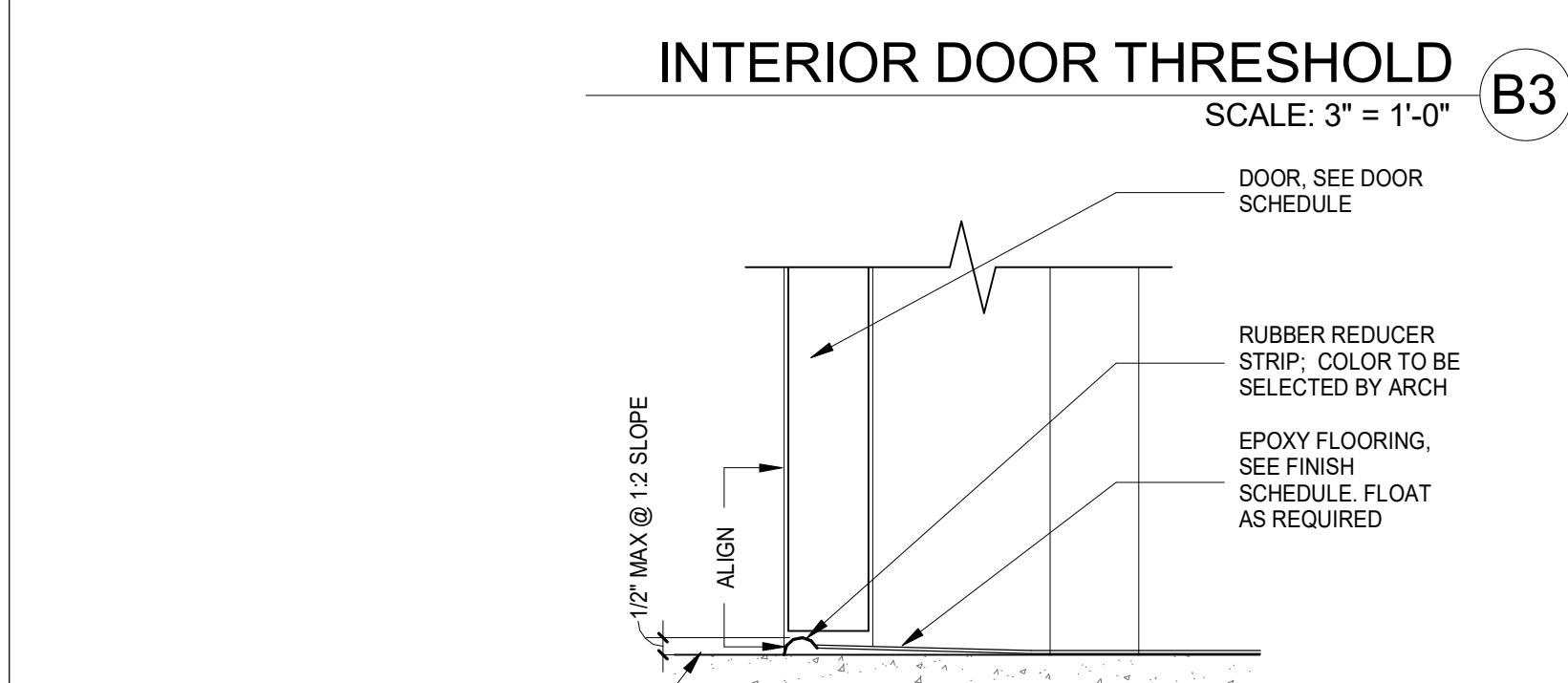
BI FOLD DOOR JAMB SCALE: 3" = 1'-0" D3



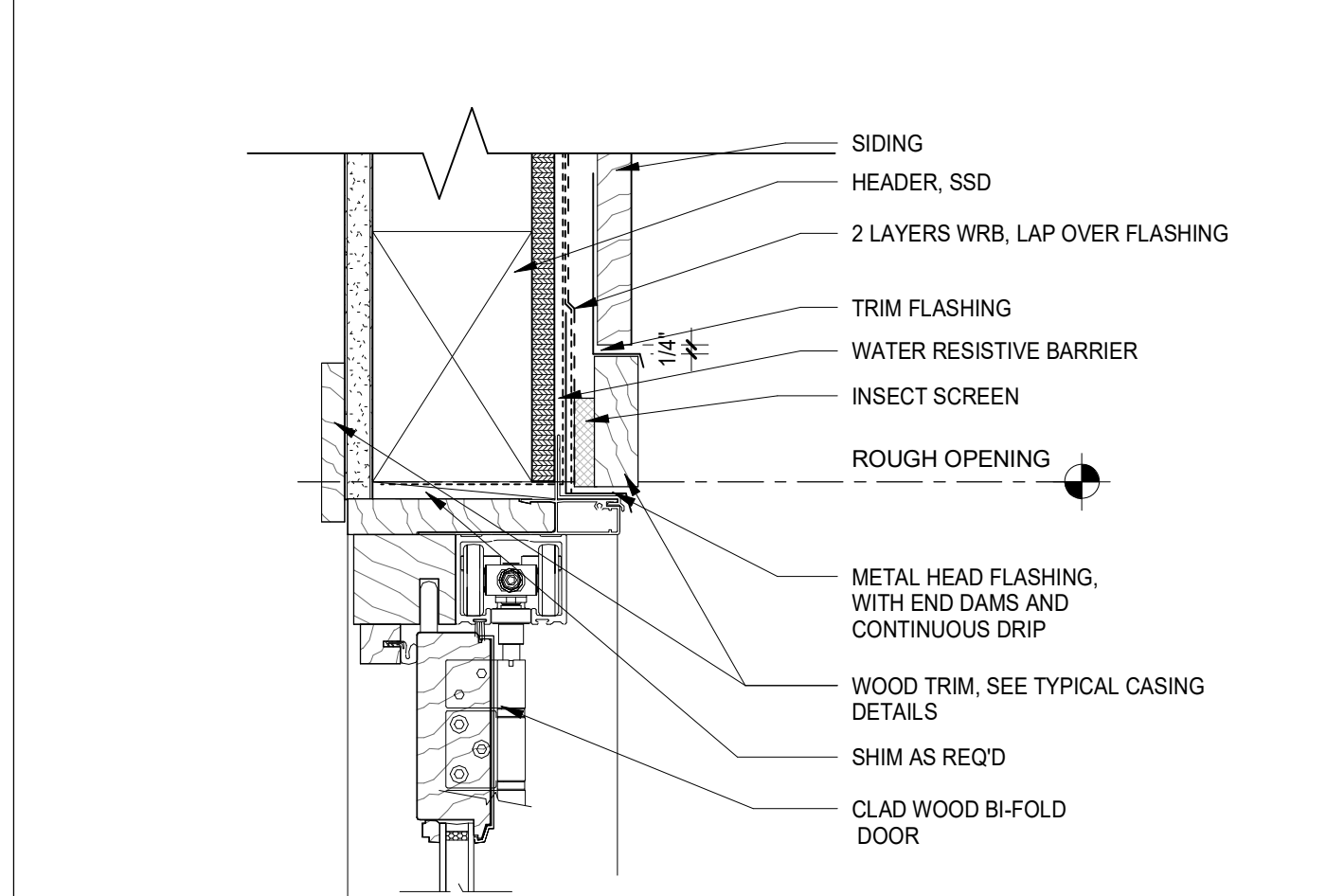
EXTERIOR DOOR JAMB SCALE: 3" = 1'-0" C3



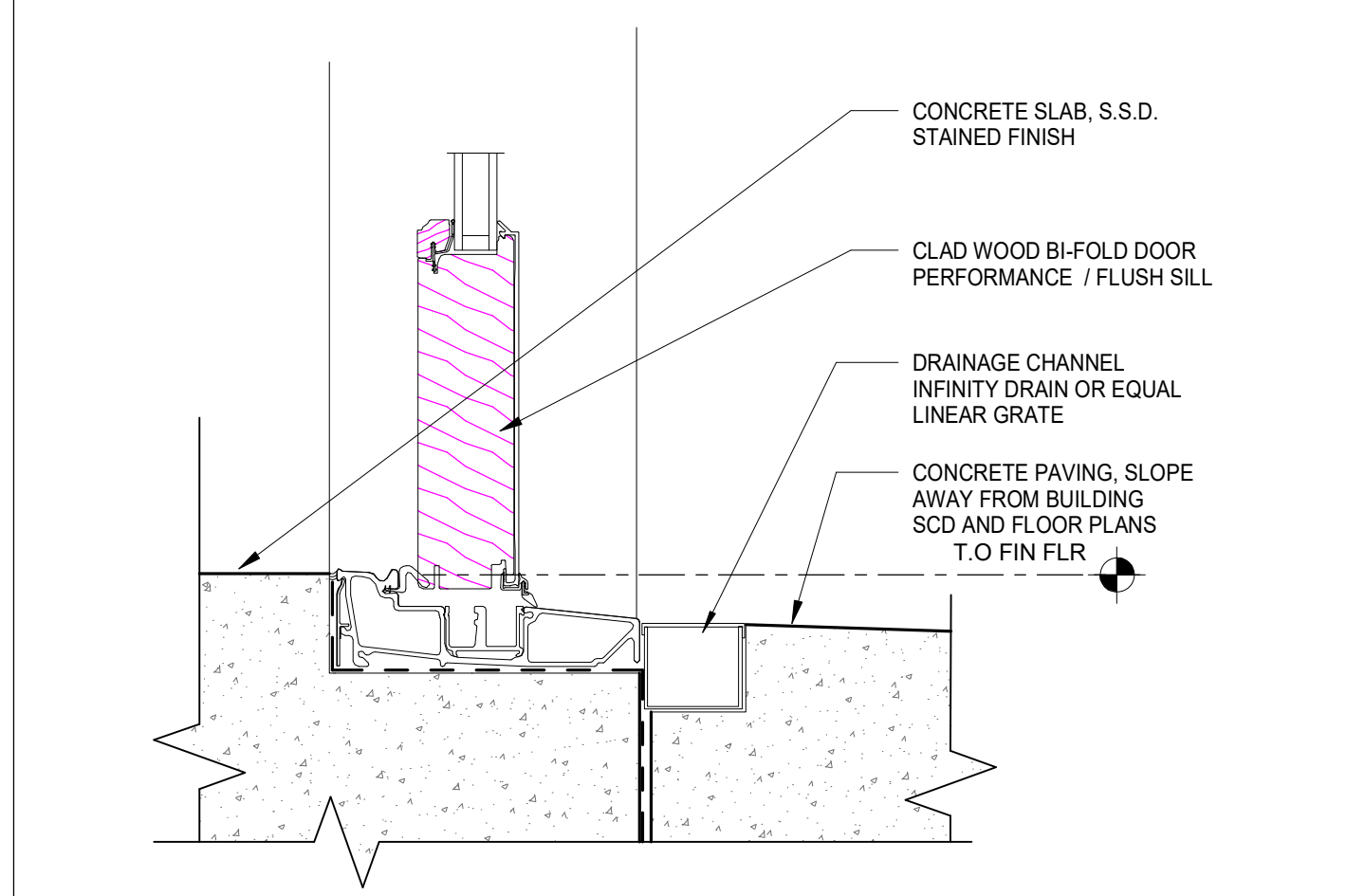
INTERIOR DOOR THRESHOLD SCALE: 3" = 1'-0" B3



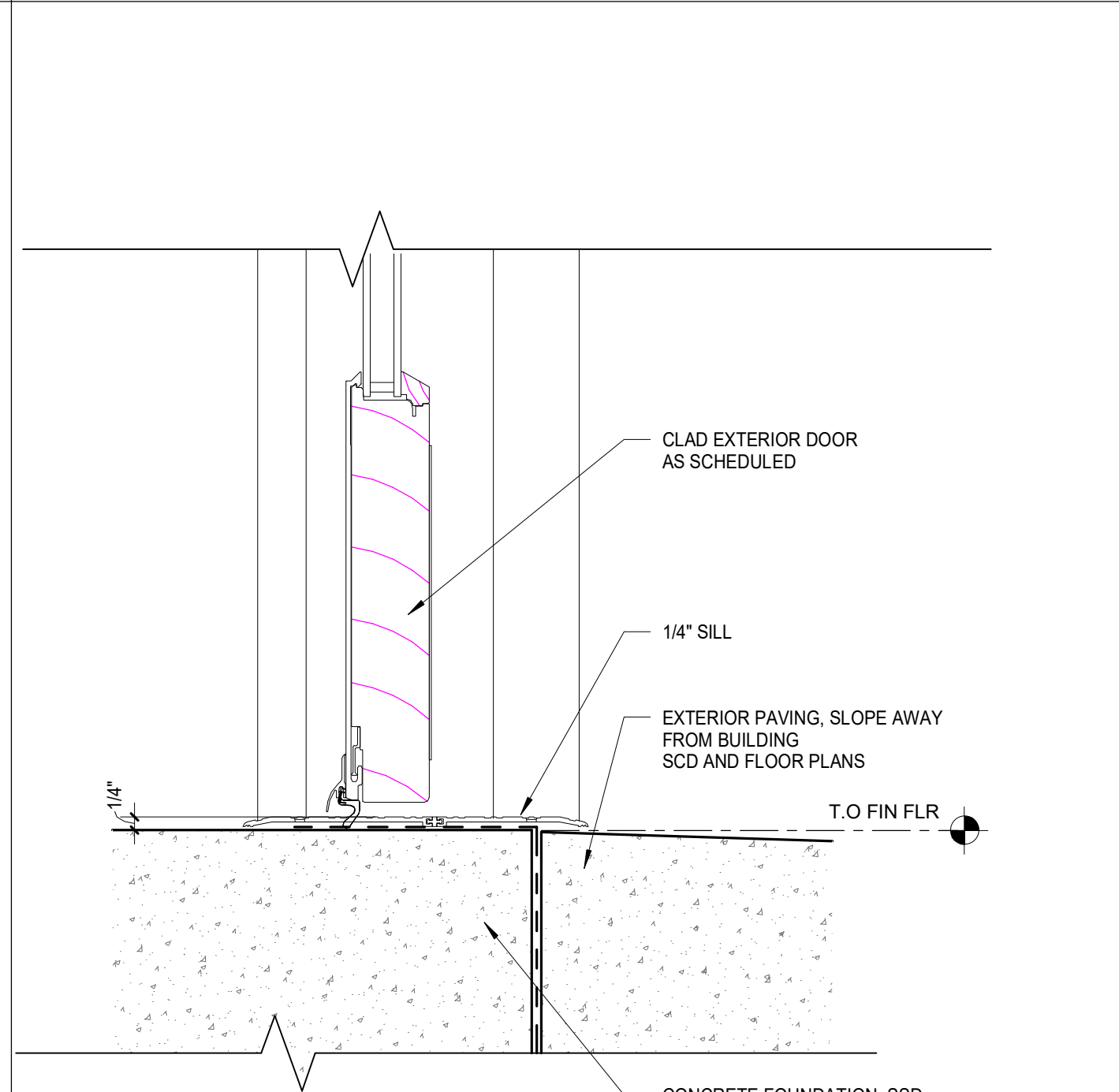
INTERIOR DOOR THRESHOLD AT EPOXY SCALE: 3" = 1'-0" A3



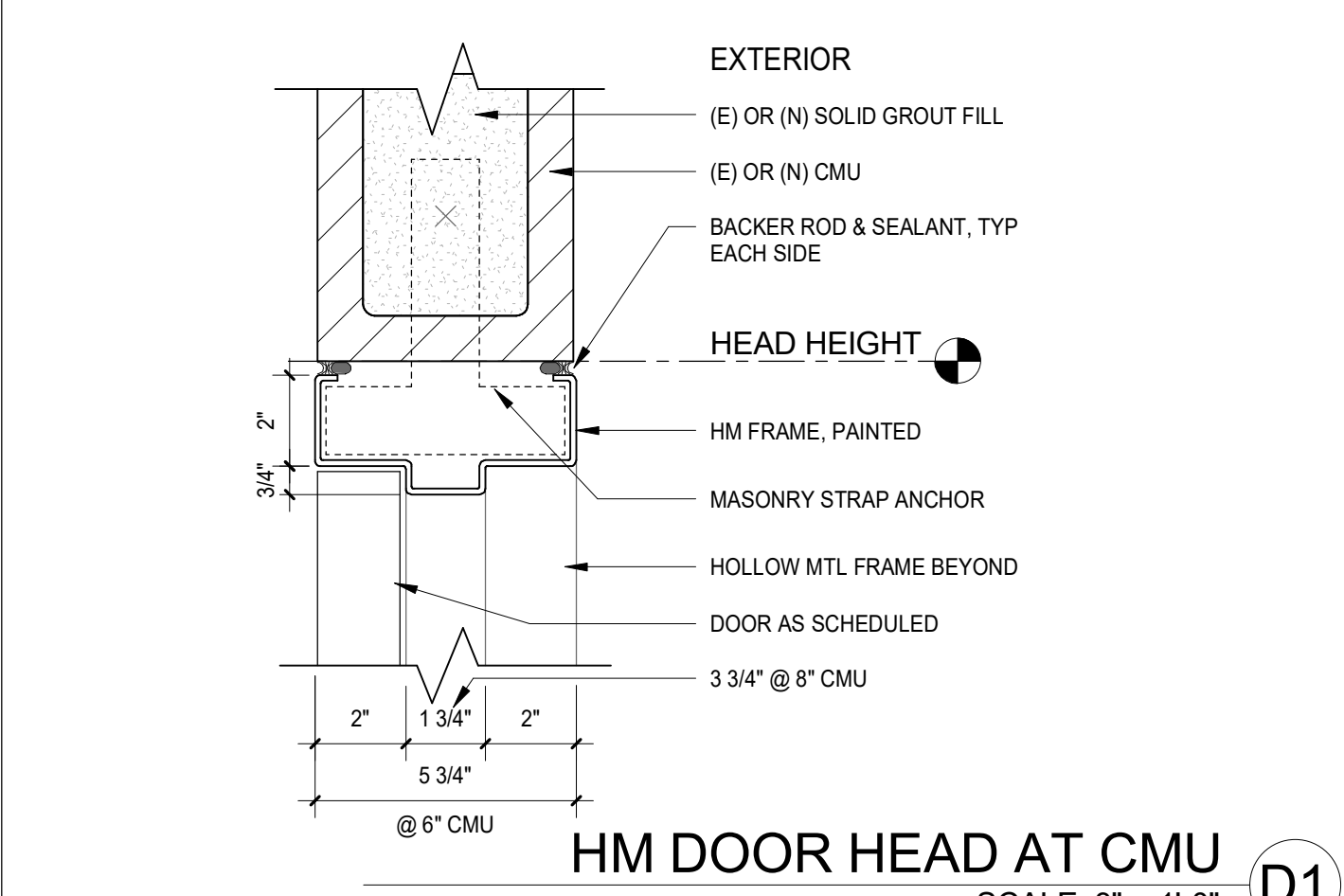
BIFOLD DOOR HEAD SCALE: 3" = 1'-0" D2



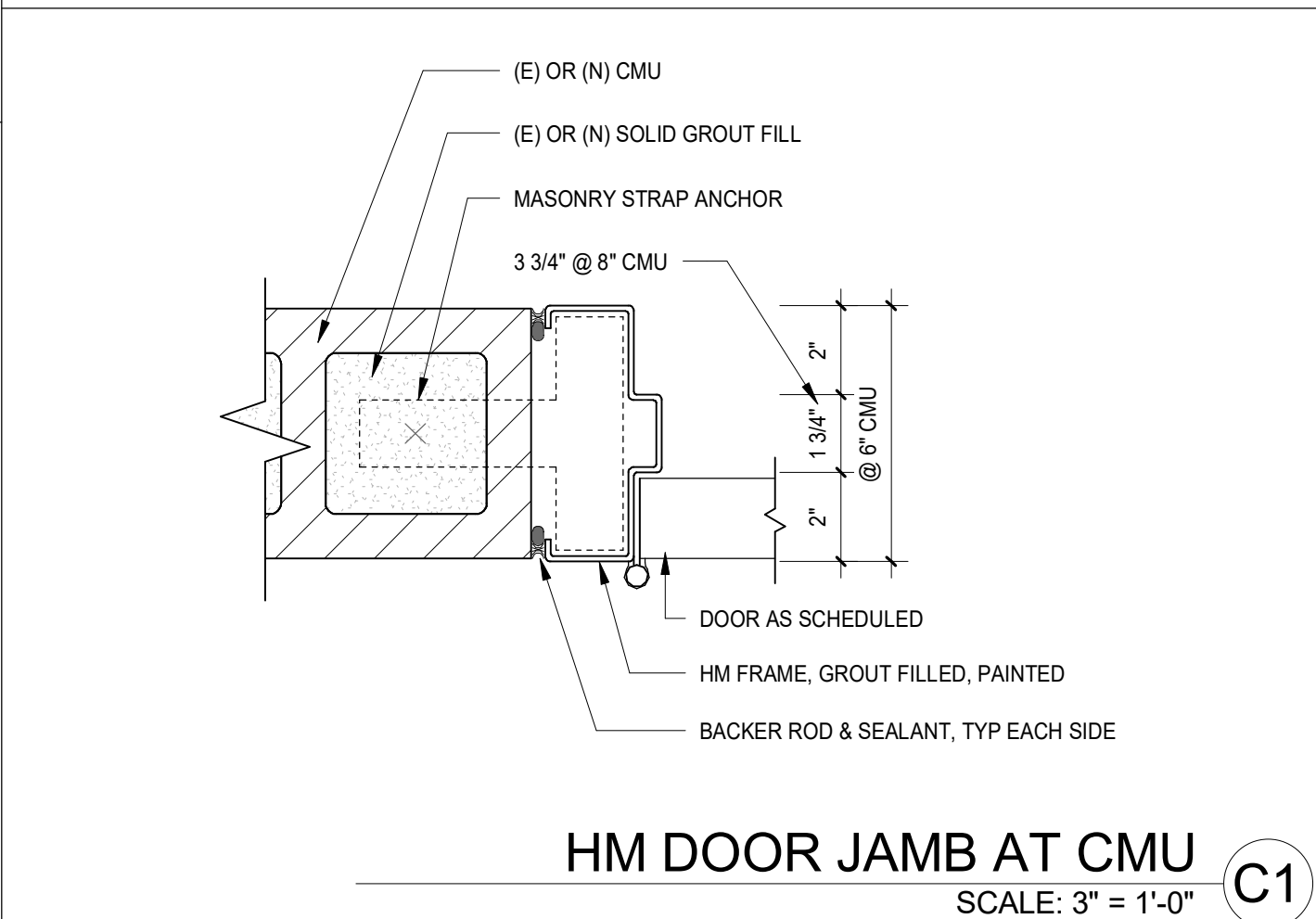
BI FOLD DOOR THRESHOLD SCALE: 3" = 1'-0" C2



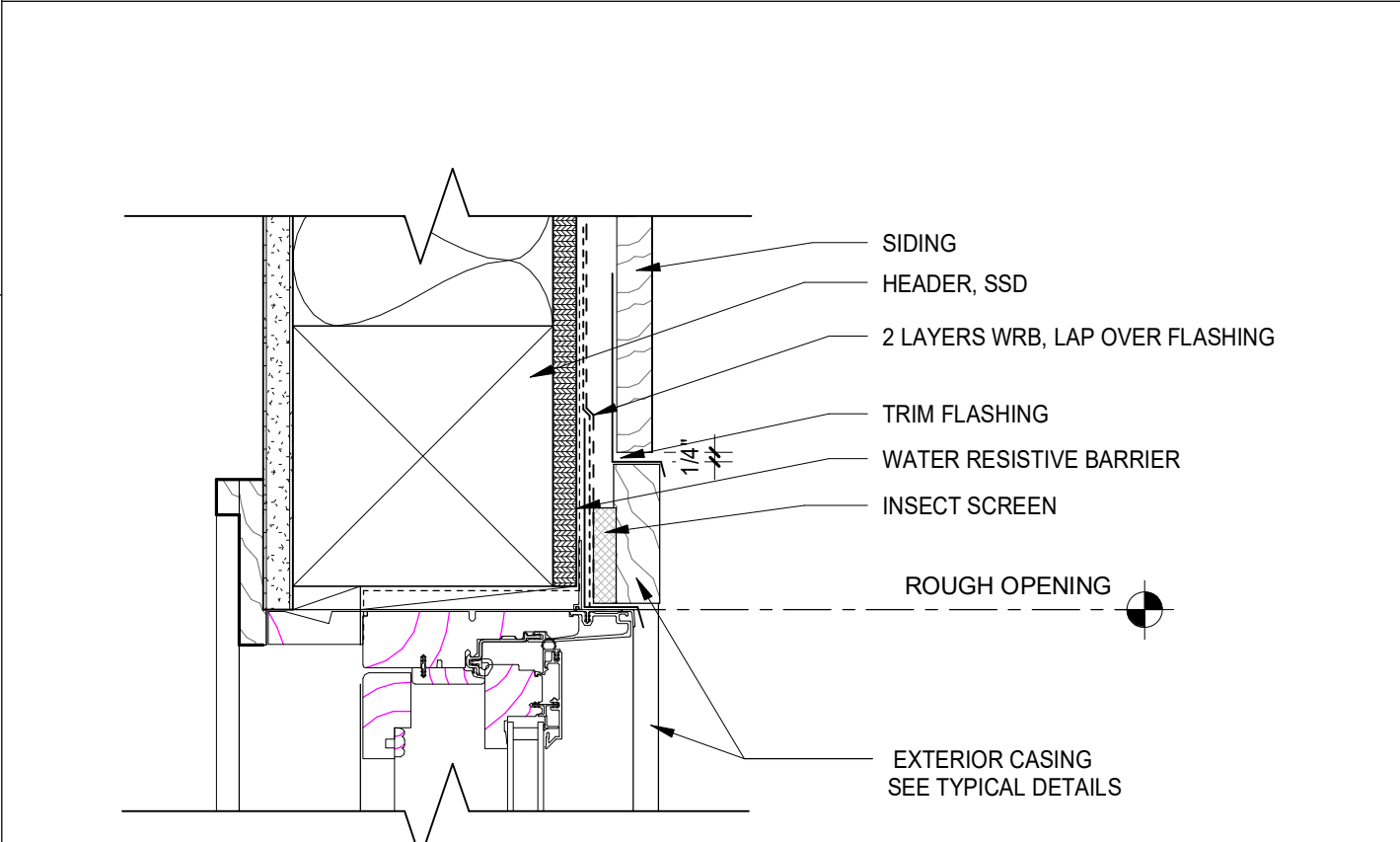
EXTERIOR DOOR THRESHOLD SCALE: 3" = 1'-0" A2



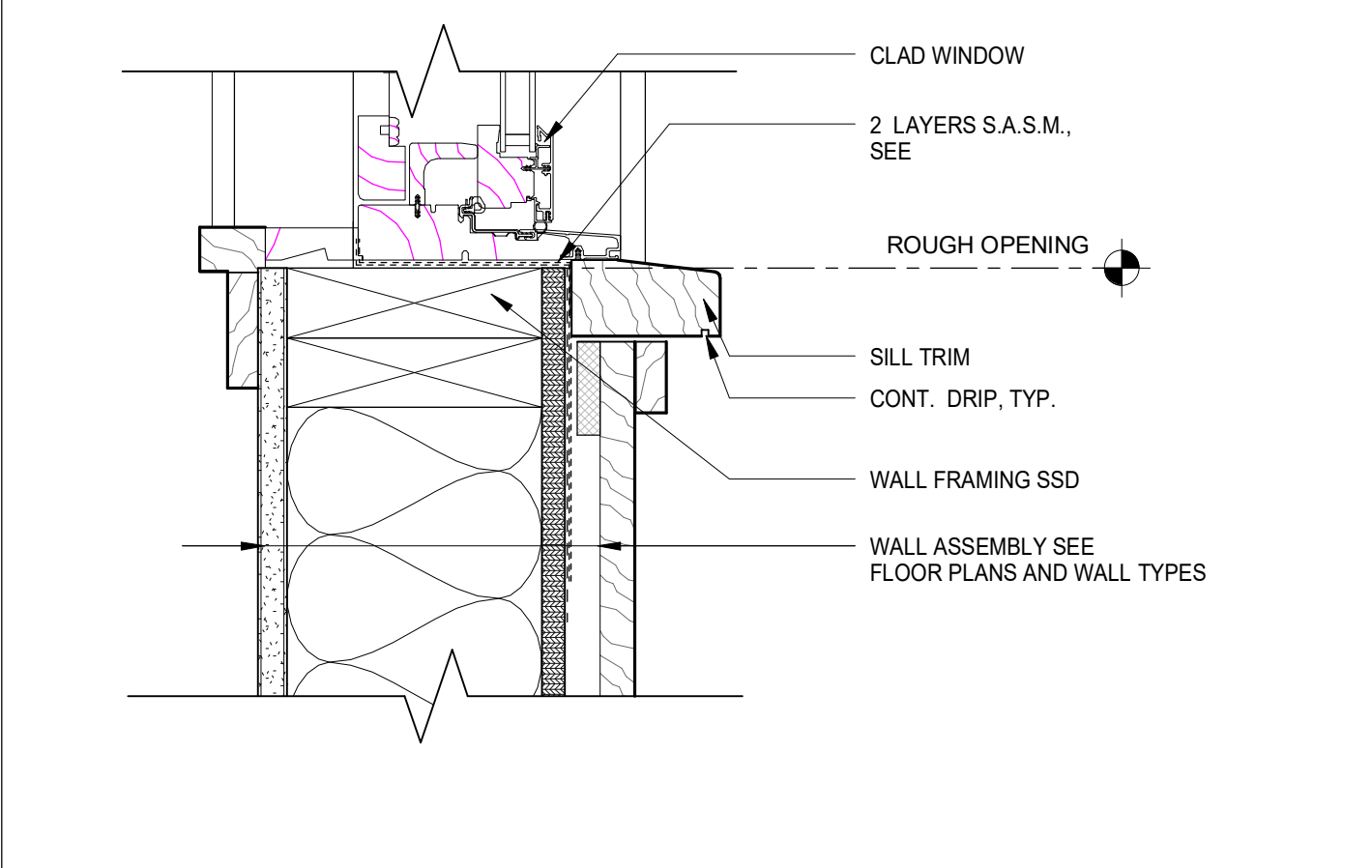
HM DOOR HEAD AT CMU SCALE: 3" = 1'-0" D1



HM DOOR JAMB AT CMU SCALE: 3" = 1'-0" C1



TYPICAL WINDOW WOOD SIDING SCALE: 3" = 1'-0" A1



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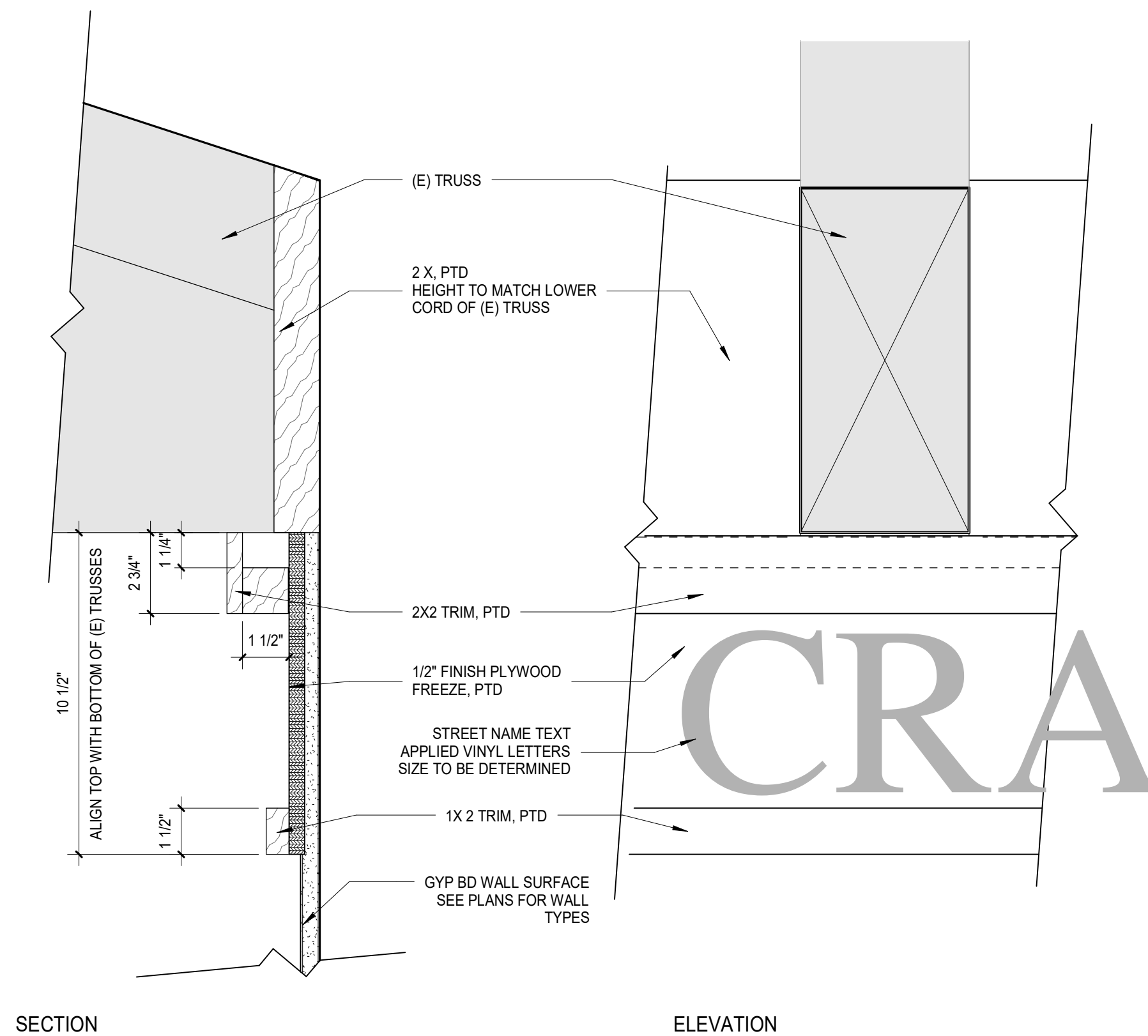


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SCALE As indicated
SHEET TITLE

DETAILS

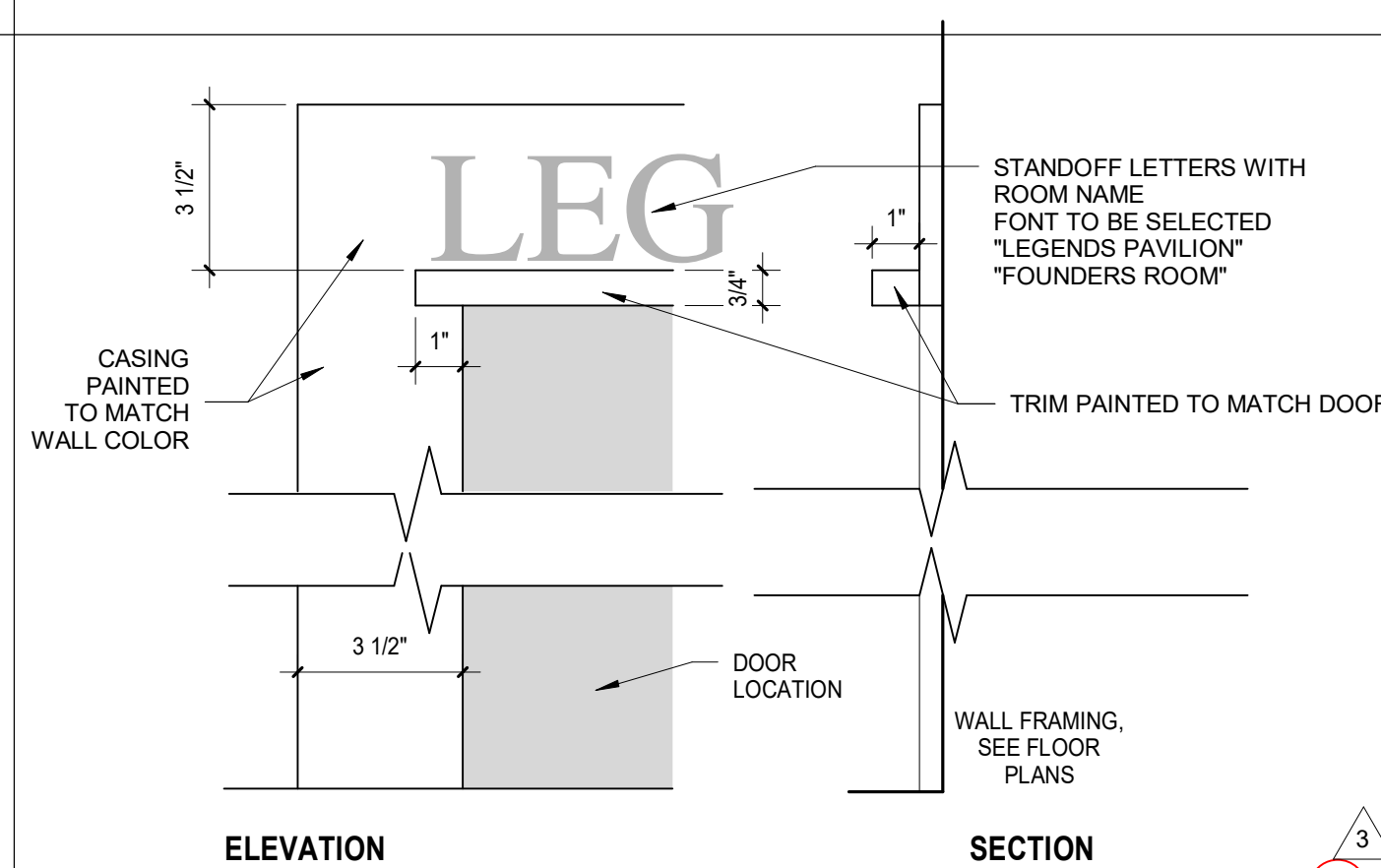
SHEET NO. A8.2



SECTION

ELEVATION

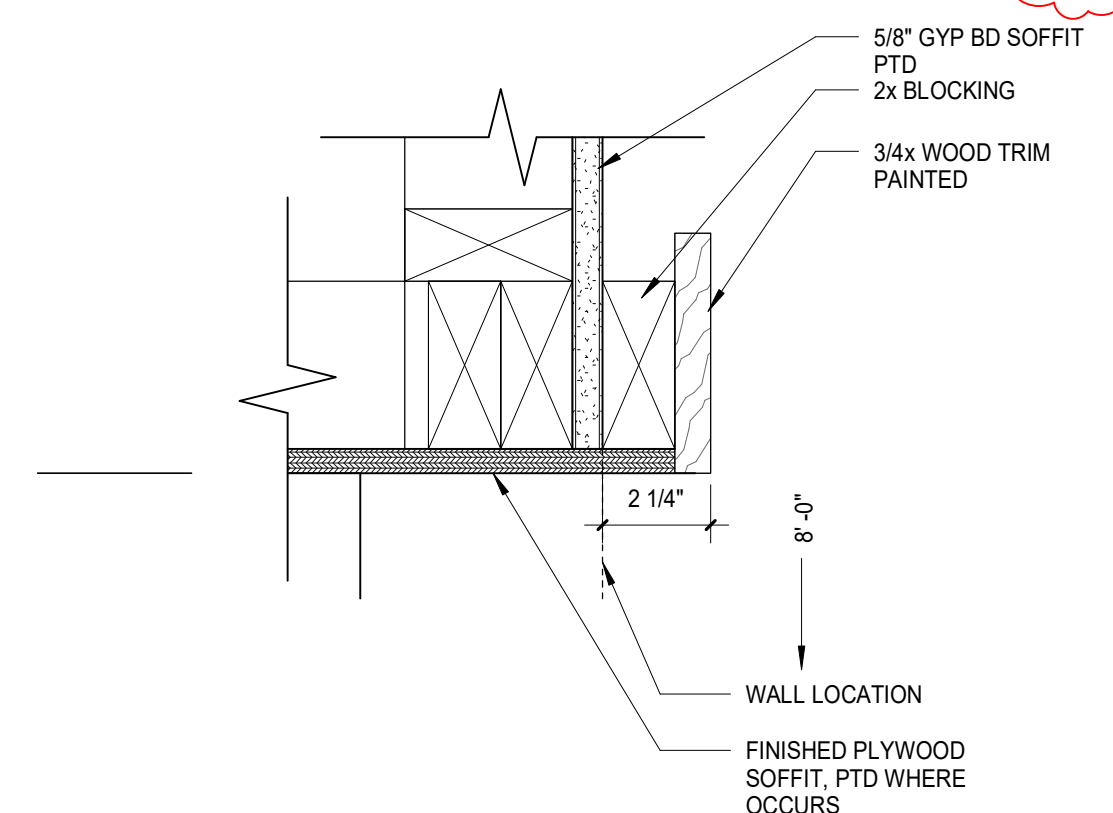
FRIEZE FOUNDERS ROOM
SCALE: 3" = 1'-0" C1



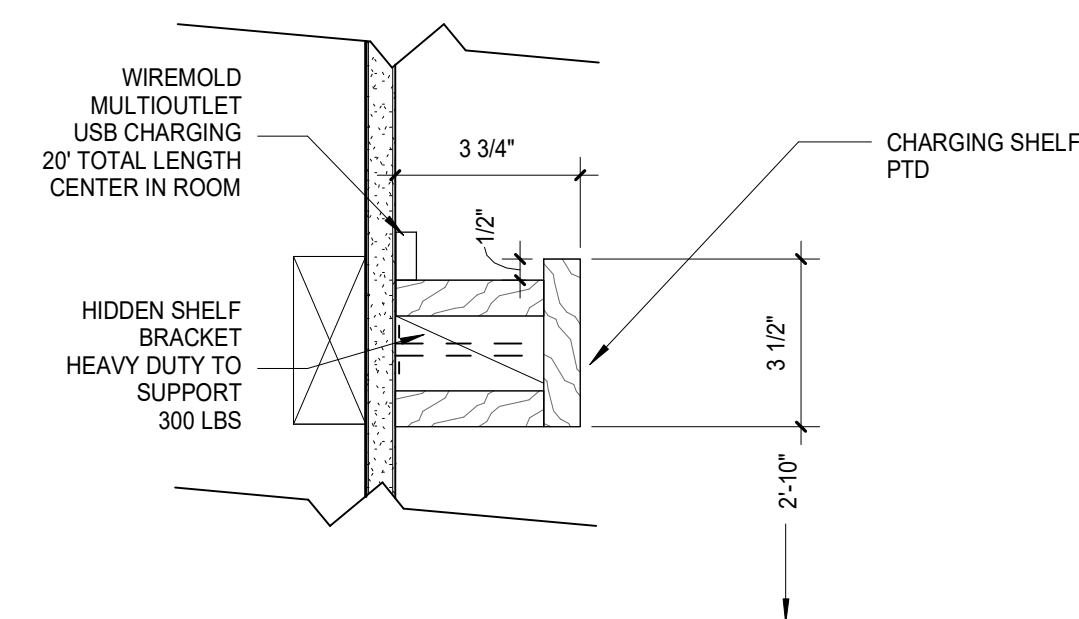
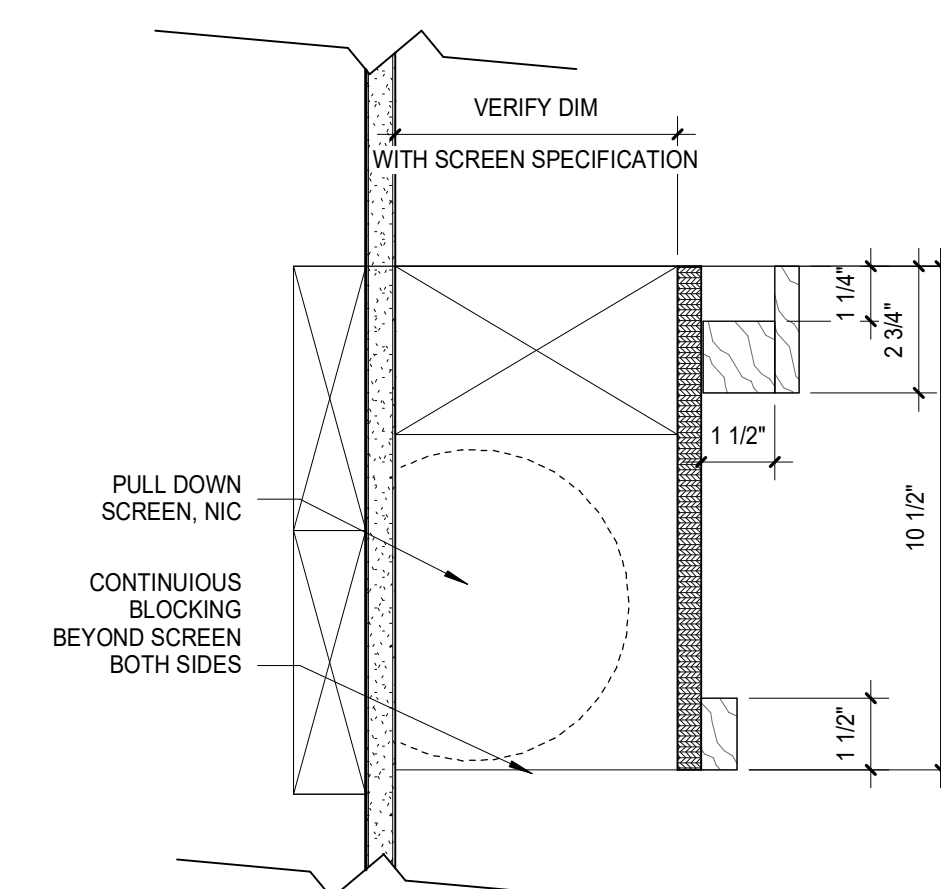
ELEVATION

SECTION

EXTERIOR AT DOORS 106 AND 107
ENTRY DOOR CASING
SCALE: 3" = 1'-0" B2



TRIM AT LEGENDS ROOM
SCALE: 3" = 1'-0" A2



DETAIL AT SCREEN WALL
SCALE: 3" = 1'-0" A1

**Sleepy Hollow
Community Center**
1317 Butterfield Rd
San Anselmo, CA 94960
APN-176-162-07

Fairchild
Broms
Design

PO BOX 1528
SAN ANSELMO, CA 94960
415.459.8699

REVISION - CERT STORAGE
ARCHITECT / ENGINEER STAMP



ISSUE / REVISION		
Date	Description	No.
05.20.20	PLAN CHECK CORRECTIONS / REVISION 1	1
08.03.20	ISSUE FOR CONSTRUCTION	3

PROJECT NO. 19004
DATE 05.20.2020
SCALE 3" = 1'-0"
SHEET TITLE

INTERIOR
DETAILS

SHEET NO. A8.3

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STRUCTURAL NOTES

GENERAL

- CONSTRUCTION SHALL CONFORM TO ALL PLANS AND SPECIFICATIONS AND TO ALL APPLICABLE CODE REQUIREMENTS UNDER WHICH THE PLANS AND SPECIFICATIONS WERE APPROVED.
- THE APPROVED DRAWINGS DO NOT INDICATE THE METHOD OF CONSTRUCTION BUT INSTEAD, THE FINISHED STRUCTURE. THE DESIGN AND DIRECTION OF TEMPORARY SHORING, BRACING, FORMWORK, SCAFFOLDING, ETC., REQUIRED FOR THE SAFE AND PROPER EXECUTION OF THE PROJECT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF PERSONS AND PROPERTY, IS THE SOLE AND COMPLETE RESPONSIBILITY OF THE CONTRACTOR.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED. SUBJECT TO REVIEW BY THE ENGINEER.
- THE CONTRACTOR SHALL COMPARE THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS AND ALL OTHER APPROVED DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES AND/OR CONFLICTS SHALL BE REPORTED TO THE ARCHITECT BEFORE COMMENCEMENT OF WORK.
- EXISTING CONDITIONS ARE GIVEN BASED ON THE BEST PRESENT KNOWLEDGE, BUT ARE NOT GUARANTEED TO BE ACCURATE. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ENGINEER SO THAT THE PROPER REVISIONS MAY BE MADE AS REQUIRED.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. DIMENSIONS WITH REGARD TO EXISTING CONDITIONS, SHALL BE VERIFIED BY THE CONTRACTOR.

STRUCTURAL DESIGN BASIS

- CONSTRUCTION SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE CALIFORNIA BUILDING CODE, 2016 EDITION.
- LIVE LOADS -
 - a. ROOF LIVE 20 PSF
 - b. FLOOR LIVE 40 PSF
- SEISMIC LOADING - EQUIVALENT LATERAL FORCE PROCEDURE
 - a. SEISMIC DESIGN CATEGORY D
 - b. SITE CLASS D
 - c. IMPORTANCE FACTOR (I) 1
 - d. RESPONSE MOD. (R) 6.5 (WOOD SHEAR WALLS)
 - e. SPECTRAL RESPONSE S_a = 1.500, S₁ = .600
S_{0.5} = 1.000, S_{0.1} = .600
- WIND LOADING - SIMPLIFIED PROCEDURE (CBC 2016/ASCE 7-10)
 - a. U.L.T. WIND SPEED (3-SECOND GUST): 110 MPH
 - b. DESIGN WIND SPEED (TABLE 1609.3.1): 85 MPH
 - c. RISK CATEGORY: II
 - d. WIND EXPOSURE: C

FOUNDATION

- FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL REPORT BY MILLER PACIFIC, DATED AUG 7, 2015. THE GEOTECHNICAL ENGINEER SHALL REVIEW THE STRUCTURAL PLANS AND PROVIDE A LETTER OF CONFORMANCE, PRIOR TO THE ISSUING OF A BUILDING PERMIT.
- SPREAD FOOTING SHALL BEAR ON UNDISTURBED SOIL, ENGINEERED FILL, OR ROCK, TO BE VERIFIED BY THE SOILS ENGINEER. FOOTING DESIGN IS BASED ON ALLOWABLE BEARING PRESSURES AS FOLLOWS:
 - b. DEAD PLUS LIVE LOAD: 2,000 PSF
 - c. TOTAL LOAD, INC. SEISMIC: 2,667 PSF
- ALL EXCAVATIONS & SITE WORK, INCLUDING ENGINEERED FILL AND SUBGRADE PREP, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. EXCAVATIONS ARE TO BE APPROVED BY SOILS ENGINEER PRIOR TO PLACING REINFORCING.
- ALL EXCAVATIONS, FORMS AND REINFORCING ARE TO BE INSPECTED BY THE LOCAL BUILDING INSPECTOR AND ENGINEER PRIOR TO PLACING CONCRETE.

DRAINAGE & WATERPROOFING

- DRAINAGE AS REQUIRED BY SOILS ENGINEER. COORDINATE DURING FOUNDATION EXCAVATION.
- THE CONTRACTOR SHALL WATER-TEST AND VERIFY THE PROPER FUNCTION OF ALL BACKDRAINS AND CORRECT ALL DEFICIENCIES PRIOR TO COMPLETING BACKFILL INSTALLATION.
- ANY WATERPROOFING OR VENTILATION ITEMS ARE SCHEMATIC ONLY AND ARE FOR THE PURPOSE OF ASSISTING IN SHOWING A COMPLETE STRUCTURAL DETAIL. REFER ONLY TO THE ARCHITECTURAL PLANS AND SPECIFICATIONS FOR THE COMPLETE DESCRIPTION OF ALL REQUIRED WATERPROOFING AND VENTILATION SYSTEMS.

REINFORCED CONCRETE

- ALL CONCRETE SHALL BE REINFORCED, REGULAR WEIGHT (145PCF) CONCRETE WITH MAXIMUM AGGREGATE SIZE OF 3/4" AND A MAX SLUMP OF 4". CONCRETE SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI (R404.1.2.3.1) AT 28 DAYS, U.O.N.
- ALL CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 318-14, SPECIFICATIONS FOR STRUCTURAL CONCRETE.
- SPECIAL INSPECTION IS NOT REQUIRED FOR SPREAD FOOTINGS, U.O.N.
- ALL REINFORCING STEEL BARS SHALL CONFORM TO ASTM A-615, GRADE 60 OR GRADE 40 FOR #3 BARS.
- MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE AS FOLLOWS (CBC 2016 - 1907.7), U.O.N.:
 - 3" CAST CONCRETE AGAINST AND PERMANENTLY EXPOSED TO EARTH
 - 2" FORMED CONCRETE EXPOSED TO EARTH OR WEATHER
 - 1 1/2" CONCRETE NOT EXPOSED TO WEATHER OR IN GROUND CONTACT AT SLABS, WALLS & BEAMS.
- REINFORCEMENTS SHALL BE HELD IN ITS TRUE HORIZONTAL AND VERTICAL POSITION BY SUITABLE DEVICES, SUFFICIENT IN RIGIDITY AND NUMBER, TO PREVENT DISPLACEMENT OF THE REINFORCING DURING PLACING OF CONCRETE.
- LAP SPLICE ALL BARS A MINIMUM OF 48 BAR DIAMETERS, UNLESS OTHERWISE NOTED. STAGGER ALL LAPS A MINIMUM OF 12 INCHES.
- EXISTING REINFORCEMENT SHALL NOT BE CUT OR DAMAGED UNLESS PERMITTED IN WRITING BY THE ENGINEER.
- CONCRETE SHALL BE CONTINUOUSLY CURED FOR 10 DAYS AFTER PLACING IN ANY APPROVED MANNER, INCLUDING CURING COMPOUND, CURING PAPER, ETC. FOOTINGS ARE EXCEPTED FROM THIS REQUIREMENT.

ROUGH CARPENTRY

- NAILING SHALL CONFORM TO TABLE 2304.9.1 (SCHEDULE OF MINIMUM NAILING) OF THE CALIFORNIA BUILDING CODE 2016 EDITION.
- SILLS OR PLATES SHALL BE PRESSURE TREATED DOUGLAS FIR AND BOLTED TO FOUNDATION WITH 5/8" DIA. GALVANIZED BOLTS AND 3"x3"x229" SQUARE WASHERS. BOLTS SHALL BE SPACED NO MORE THAN 4 FEET APART AND NO LESS THAN 2 BOLTS PER SILL PIECE AND EMBEDDED AT LEAST 9 INCHES INTO CONCRETE OR MASONRY.
- BLOCK AND BRIDGE ROOF JOISTS AT 10 FEET AND FLOOR JOISTS AT 8 FEET. DOUBLE OR 2x BLOCK ALL JOISTS UNDER PARTITIONS AND AT PLATFORM EDGES.
- PLACE JOISTS WITH CROWN UP.
- RE-TIGHTEN ALL THROUGH- BOLTS AND ANCHOR BOLTS TO TIGHT FIT AS LATE AS POSSIBLE DURING CONSTRUCTION.
- CONNECTORS SHALL BE GALVANIZED WHERE EXPOSED TO WEATHER OR WHEN USED WITH PRESSURE TREATED LUMBER.
- METAL FRAMING CONNECTORS SHALL BE MANUFACTURED BY THE SIMPSON COMPANY OR BY MANUFACTURE OF EQUAL STANDARD. MODEL NUMBERS SHOWN ON THE PLANS ARE FROM THE LATEST SIMPSON CATALOGUE.
- FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH AND SHALL CONFORM TO THE MINIMUM WCLB GRADES & NDS 2012. GRADES FOR SPECIFIC FRAMING MEMBERS ARE AS FOLLOWS (U.O.N.):
 - a. JOISTS, BEAMS, HEADERS & POSTS: NO. 1 OR BETTER
 - b. STUDS: CONSTRUCTION
 - c. P.T. JOISTS & BEAMS: PRESSURE TREATED NO. 1
 - d. OTHER P.T.: PRESSURE TREATED NO. 2
- MOISTURE CONTENT - FRAMING LUMBER SHALL BE "DRY" (19% MAX.) OR LESS AT TIME OF INSTALLATION AND SHALL BE ALLOWED TO DRY TO 12% OR LESS BEFORE INSTALLATION OF ARCHITECTURAL FINISHES.
- ENGINEERED LUMBER SHALL BE AS FOLLOWS:
 - a. LVL (MICROLAM) SHALL BE TRUSS JOIST 1.9E OR EQUIV.
 - b. PSL (PARALLAM) SHALL BE TRUSS JOIST 2.0E OR EQUIV.
- PRESSURE TREATED (P.T.) LUMBER:
 - a. PRESSURE TREATMENT SHALL BE IN ACCORDANCE WITH AWPAC C-2 WITH A PRESERVATIVE AND RETENTION APPROVED FOR ABOVE GROUND USE.
 - b. P.T. LUMBER SHALL HAVE A 19% MAX. MOISTURE CONTENT WHEN INSTALLED.
 - c. BORING AND CUT-OFFS SHALL BE FIELD TREATED WITH A SOLUTION OF COPPER NAPHTHATE (COPPER GREEN).
 - f. FASTENERS AND CONNECTORS IN CONTACT WITH P.T. WOOD SHALL BE HD GALVANIZED OR SIMPSON "Z-MAX".

STRUCTURAL SHEATHING

- ALL STRUCTURAL SHEATHING SHALL BE APA RATED STRUCT 1, EXPOSURE 1 WITH THE FOLLOWING THICKNESS AND SPAN RATING:
 - b. WALL 15/32" (1/2" CD-X), 32/16 RATED
 - c. ROOF: 19/32" (5/8" CD-X), 24/20 RATED (PLWD CLIPS REQ'D)
- SHEETS SHALL BE 4'-0" X 8'-0", WITH A MIN. DIMENSION OF 2'-0" IN ANY DIRECTION. SHEETS AT FLOORS AND ROOFS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO JOISTS. SHEETS ON WALLS SHALL BE LAID WITH LONG DIMENSION VERTICAL WITH ALL EDGES BLOCKED WITH MIN. 2x4 FLAT BLOCKS.
- DRIVE NAILS FLUSH WITH SHEATHING SURFACE. REPLACE OVERDRIVEN NAILS IN NEW HOLE.
- NAILS WITH SPACING OF 4" OR LESS ARE TO BE STAGGERED, WITH 3x SILLS/SOLE PLATES & STUDS @ PANEL EDGES
- DOUBLE SIDED SHEARWALLS: STAGGER SHEETS SO THAT JOINTS DON'T OCCURE AT THE SAME STUD.

EPOXY-SET DOWELS AND ANCHOR BOLTS

- EPOXY OR RESIN ADHESIVE SHALL SIMPSON SET-XP ADHESIVE (CC-ES ESR-2508) OR EQUIVALENT (UPON REQUEST AND SUBMISSION OF SPECIFICATIONS).
- MIX AND INSTALL RESIN AND HARDENER PER MANUFACTURER'S SPECIFICATION.
- DRILLED HOLE SIZE SHALL BE PER THE MANUFACTURER'S SPECIFICATIONS, BEFORE APPLYING ADHESIVE. HOLES SHALL BE REAMED WITH A CIRCULAR WIRE BRUSH ATTACHED TO A DRILL MOTOR AND THEN BLOWN OUT WITH OIL-FREE COMPRESSED AIR.

STRUCTURAL STEEL

- WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE ASCE 'SPECIFICATIONS' FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, 14TH EDITION.
- STRUCTURAL STEEL SHALL CONFORM WITH ASTM A36 (F_y = 36 KSI) U.O.N. BELOW:
 - a. "W" (WIDE FLANGE) SHAPES SHALL CONFORM WITH ASTM A992 (F_y = 50 KSI)
 - b. "HSS" (HOLLOW STEEL SECTIONS) SHALL CONFORM WITH ASTM A500 GRADE B (F_y = 46 KSI)
- WELDING SHALL CONFORM WITH THE LATEST EDITION OF THE AWS SPECIFICATIONS. USE E70 ELECTRODES. WELD METAL WITH A STRENGTH EQUAL TO OR LESS THAN "MATCHING" WELD METAL IS PERMITTED.
- STEEL COMMON BOLTS SHALL CONFORM WITH ASTM A307 GRADE A UNLESS OTHERWISE NOTED. NUTS SHALL BE ASTM A563 AND WASHERS SHALL BE ASTM F436.
- STEEL THREADED RODS SHALL BE A36 U.O.N.
- STEEL ANCHOR BOLTS SHALL BE ASTM F1554 GRADE 36 TYPE 3 GALVANIZED.
- STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED (ALT. PROTECTIVE COATING ACCEPTABLE WITH SUBMITTAL AND APPROVAL BY ENGINEER). ALL OTHER STEEL SHALL BE SHOP PRIMED.

STRUCTURAL CONSTRUCTION OBSERVATION

STRUCTURAL OBSERVATIONS SHALL BE PERFORMED BY THE ENGINEER OF RECORD IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE 2016, SECTION 1710 FOR THE FOLLOWING STAGES OF CONSTRUCTION:

- REINFORCING AND ANCHORS PRIOR TO CONCRETE POUR.
- STRUCTURAL FRAMING & CONNECTORS PRIOR TO COVER.
- ROOF FLYWOOD NAILING PRIOR TO COVER
- SHEAR WALL NAILING, FASTENERS & HALDOVDNS PRIOR TO COVER

PLEASE PROVIDE A MINIMUM OF 48 HOURS NOTICE BEFORE REQUIRED OBSERVATIONS.

A WET STAMPED AND SIGNED LETTER FROM THE ENGINEER OF RECORD SHALL BE SUBMITTED TO THE COUNTY OF MARIN, VERIFYING THE CONSTRUCTION CONFORMS TO THE APPROVED STRUCTURAL DESIGN.

SPECIAL INSPECTIONS

TESTS AND INSPECTIONS FOR ALL ITEMS AS REQUIRED BY THE CALIFORNIA BUILDING CODE 2016 EDITION ARE THE RESPONSIBILITY OF THE CONTRACTOR. COPIES OF TEST REPORTS ARE TO BE SENT TO THE OWNER, ENGINEER & BUILDING DEPARTMENT.

THE FOLLOWING SPECIFIC ITEMS SHALL BE SPECIALLY INSPECTED AND/OR TESTED BY AN INDEPENDENT TESTING LAB PER CBC 2016 SECTION 1704:

- EPOXY SET THREADED RODS INTO CONCRETE & MASONRY.
- WELDING: CONTINUOUS COMPLETE PENETRATION WELDS, MULTI-PASS WELDS AND WELDS LARGER THAN 5/16", FIVE PERIODIC INSPECTION FOR WELDS EQUAL TO 5/16" AND SMALLER.
- CONCRETE MASONRY UNIT & REINFORCING PLACEMENT AND GROUTING

ABBREVIATIONS

A&B ARCH. ALT.	ABOVE & BELOW ARCHITECTURAL ALTERNATE	FAST. FLOOR FINISH F.N.	FASTENED FLOOR FINISH NAILING	R. PLWD.	PLATE PLW/WOOD PARTIAL PENETRATION PRESSURE TREATED
B.L.D.G. B.L.G.	BUILDING BLOCKING	F.N.D. F.T.G.	FOUNDATION FOOTING	R.W.D.	REINFORCING REDWOOD REINFORCING
B.N. BOTT.	BOUNDARY NAILING BOTTOM	G.A.L.V.	GALV. GALVANIZED	S.A.D.	SEE ARCH. DRAWINGS
C.-J.	CONSTRUCTION JOINT	G.B.	GRADE BEAM	S.L.D.	SEE LANDSCAPE DRAWINGS
C.L.G.	CENTER LINE	G.L.	GRID LINE	S.C.D.	SEE CIVIL DRAWINGS
CL.	CEILING	G.L.B.	GLUED LAMINATED BEAM	S.C.T.	SECTION
CL.R.	CLEAR	G.Y.P.	GYPSUM SHEATHING	S.H.T.G.	SHEATHING
CMU	CONCRETE MASONRY UNIT	H.D.	HOLDDOWN	S.I.M.	SIMILAR
COL.	COLUMN	H.O.R.	HEADER	S.S.	SISTERED
COLL.	COLLECTOR	H.O.R.I.Z.	HORIZONTAL	S.P.E.C.S.	SPECIFICATIONS
CONC.	CONCRETE	H.T.	HEIGHT	S.Q.R.	SQUARE
CONC. CONST.	CONSTRUCTION CONTINUOUS COMPLETE PENETRATION CENTER	INT.	INTERIOR	ST.C.D.	STAGGERED
CONT.	CONTINUOUS	K.P.	KING POST	STIFF.	STIFFENER
C.P.	COMPLETE PENETRATION	K.D.	KILN DRIED	STR.	STRUCTURAL
CTR.	CENTER	L.S.	LAC. SCREW	T&B	TOP&BOTTOM
DBL.	DOUBLE	L.T. WT.	LIGHT WEIGHT	T&G	TONGUE&GROOVE
DEMO.	DEMOLITION	M.A.K.	MANUF. MANUFACTURER	T.B.O.	TO BE DETERMINED
DET.	DETAIL	M.E.C.H.	MECHANICAL	THRU	THROUGH
D.F.	DOUGLAS FIR	M.B.	MACHINE BOLT	TYP.	TYPICAL
DIAG.	DIAGONAL	M.I.N.	MINIMUM	T.O.	TOP OF
DIA.	DIAMETER	MISC.	MISCELLANEOUS	U.O.N.	UNLESS OTHERWISE NOTED
DM.	DIMENSION	N.T.S.	NOT TO SCALE	V.E.R.T.	VERTICAL
DO	DO IT	(N)	NEW	V.I.F.	VERIFY IN FIELD
DWG.	DRAWING	NEC.	NECESSARY	E.V.D.D.	ENGINEER TO VERIFY DURING DEMOLITION
E.A.	EACH	OPNG.	OPENING	W.F.	WIDE FLANGE (I BEAM)
ELEV.	ELEVATION				
EMB.	EMBEDMENT				
E.N.	EDGE NAILING				
EQ.	EQUAL				
(E)	EXISTING				
EXT.	EXTERIOR				

GENERAL FASTENING SCHEDULE

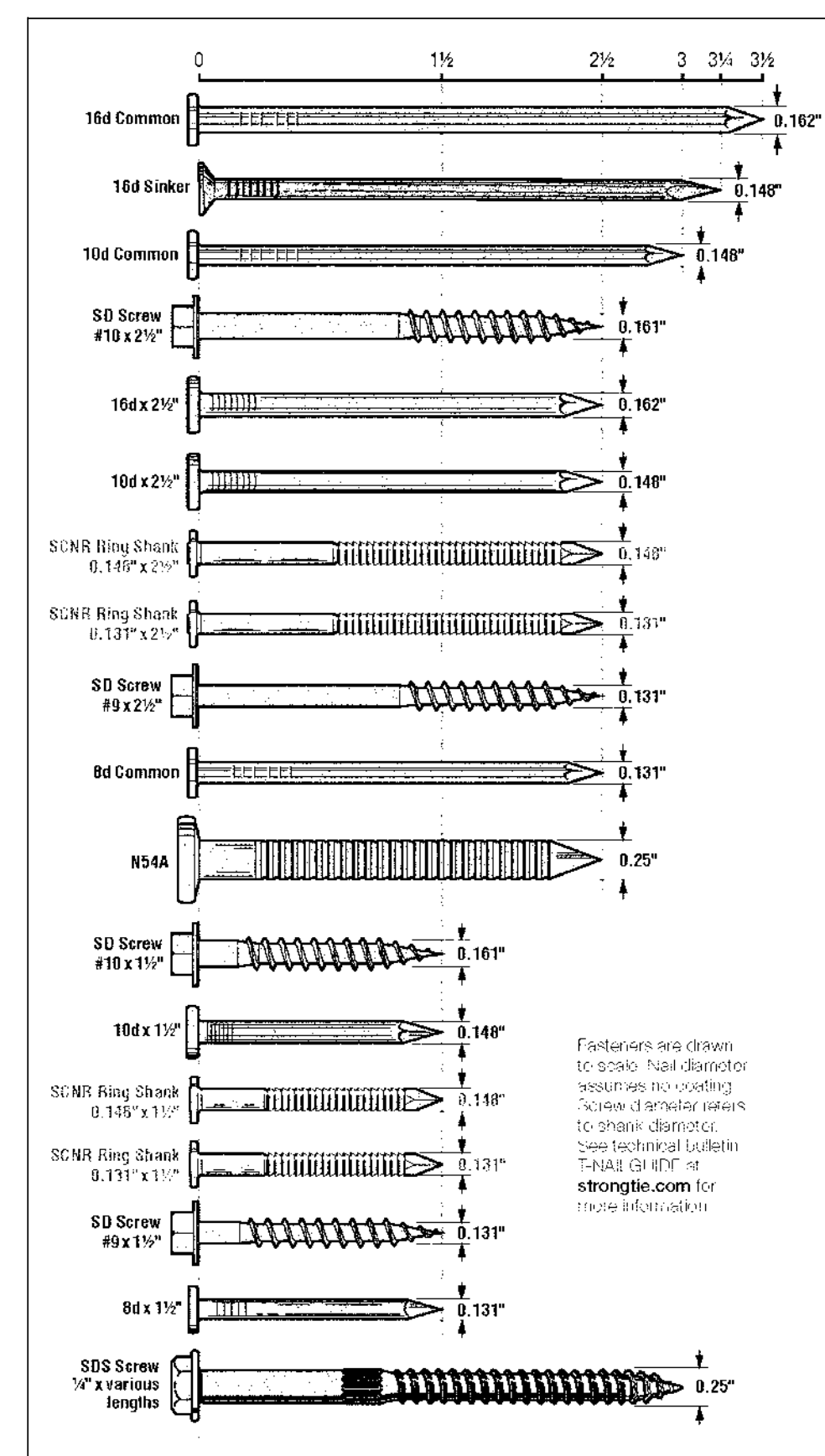
CONNECTION	FASTENING	LOCATION
JOIST TO SILL OR GIRDER	3-8d COMMON (2 1/2"x0.131")	TOENAIL
SOLE PLATE TO JOIST OR BLOCKING	16d (3 1/2"x0.135") @ 16"O.C.	TYPICAL FACE NAIL
STUD TO SOLE PLATE	4-8d COMMON (2 1/2"x0.131")	TOENAIL
	2-16d COMMON (3 1/2"x0.162")	END NAIL
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3-8d COMMON (2 1/2"x0.131")	TOENAIL
RIM JOIST TO TOP PLATE	8d (2 1/2"x0.131") @ 16"O.C.	TOENAIL
CEILING JOISTS TO PLATE	3-8d COMMON (2 1/2"x0.131")	TOENAIL
CONTINUOUS HEADER TO STUD	4-8d COMMON (2 1/2"x0.131")	TOENAIL
CEILING JOISTS, LAPS OVER PARTITIONS	3-16d COMMON (3 1/2"x0.162")	FACE NAIL
CEILING JOISTS TO PARALLEL RAFTERS	3-16d COMMON (3 1/2"x0.162")	FACE NAIL
RAFTERS TO PLATE	3-8d COMMON (2 1/2"x0.131")	TOENAIL
BUILT-UP CORNER STUDS	16d COMMON (3 1/2"x0.162")	16" O.C.
JACK RAFTER TO HIP	3-10d COMMON (3"x0.148")	TOENAIL
GYPSUM BOARD	1/2"	6d-COOLER (5/8"x0.092") OR SCREW
	5/8"	6d-COOLER (5/8"x0.092") OR SCREW

NOTE:
1. FOR ADDITIONAL FASTENING, INCLUDING WALL AND SHEAR FASTENING, SEE TYP. DETAILS.

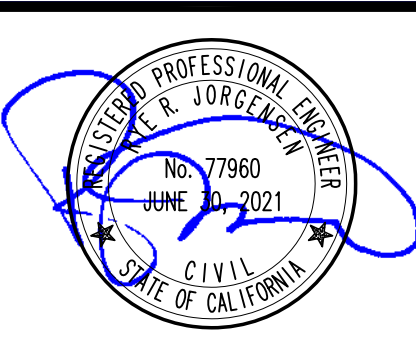
FASTENER OPTIONS

FASTENER	1.00	N/A	N/A	N/A
9 x 1 1/2" SD Connector screw	1.00	N/A	N/A	N/A
1.131" x 1 1/2"	0.83	N/A	N/A	N/A
1.131" x 1 1/2"	0.71	Not allowed	Not allowed	N/A
1.131" x 2 1/2"	0.83	0.65	0.83	0.8
1.148" x 1 1/4"	0.64	Not allowed	Not allowed	N/A
1.148" x 1 1/2"	0.77	Not allowed	Not allowed	N/A
1.148" x 2 1/2"	1.00	0.80	1.00	1.0
1.148" x 3 1/4"	1.00	1.00	1.00	1.0
9 x 1 1/2" SD Connector screw	1.00	Not allowed	Not allowed	N/A
9 x 2 1/2" SD Connector screw	1.00	See strongtie.com ¹		1.0
1.148" x 1 1/2"	0.77	N/A	N/A	N/A
1.148" x 1 1/4"	0.64	N/A	N/A	N/A
1.148" x 3"	1.00	1.00	1.00	1.0
9 x 1 1/2" SD Connector screw	1.00	N/A	N/A	N/A

FASTENER SIZES

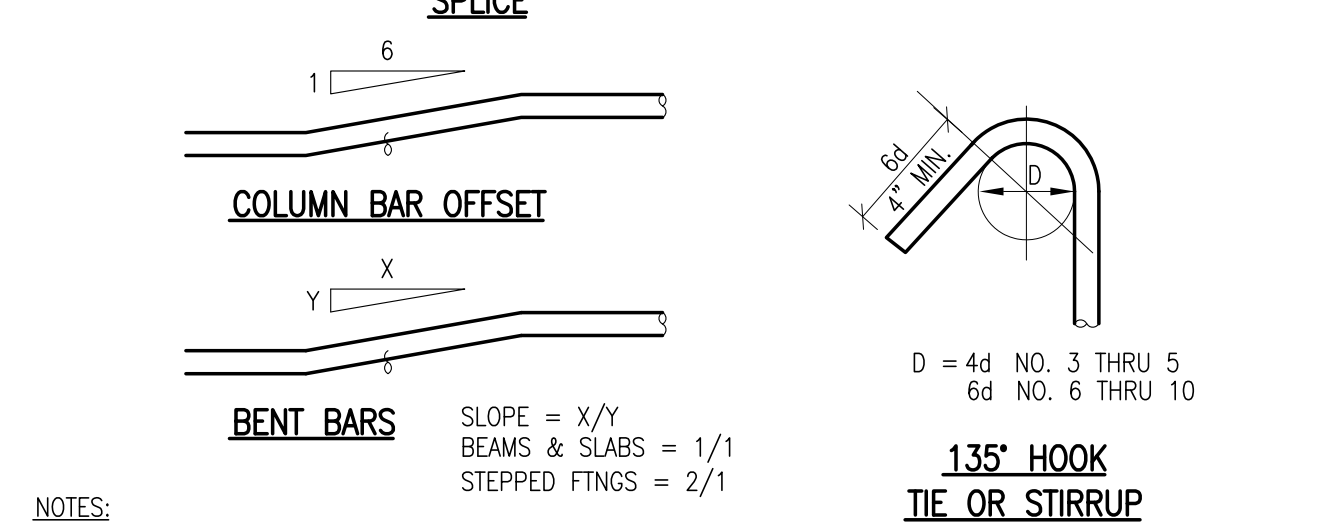
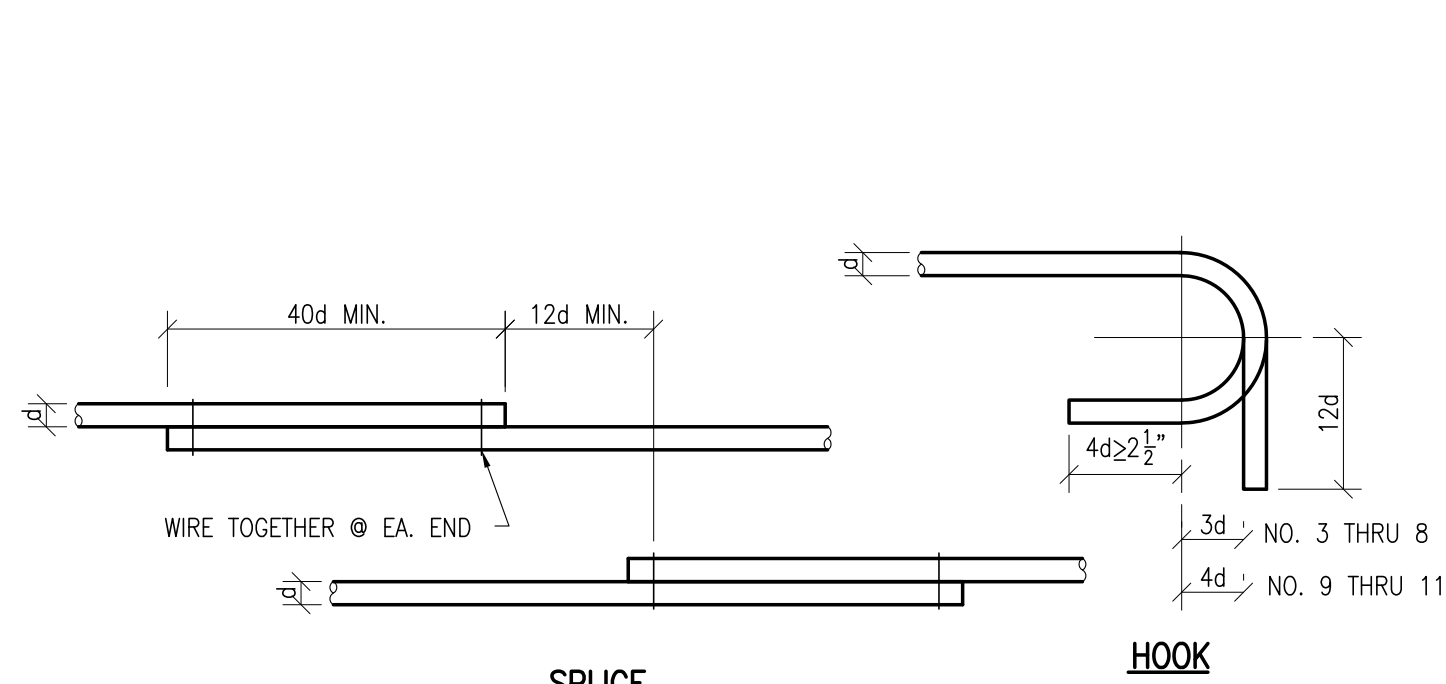


Fasteners are drawn to 50% N54 diameter assurance, no loading. Square diameter refers to Shank diameter. See technical bulletin "N54-01-11" at strongtie.com for more information.



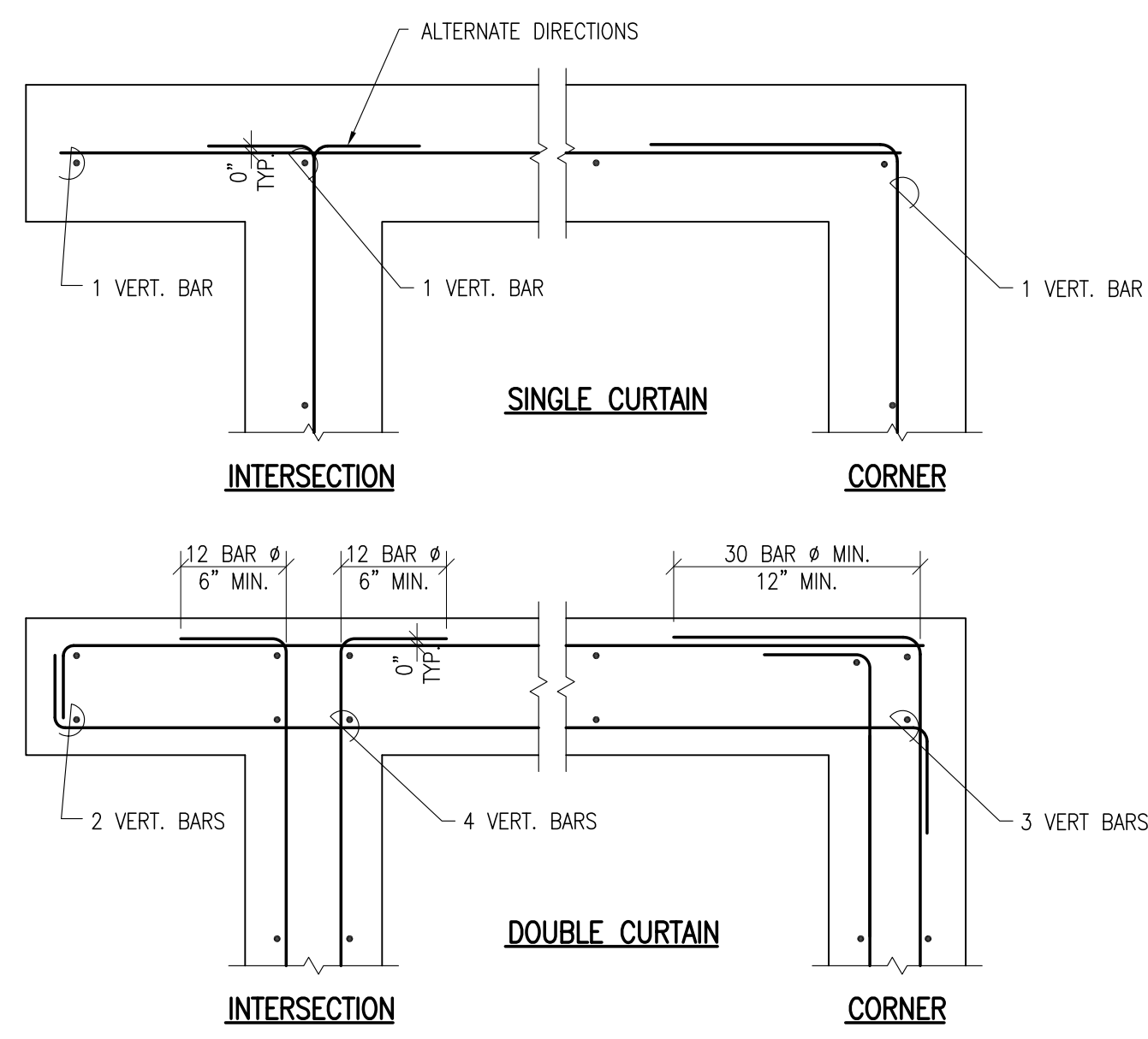
DATE	DESCRIPTION	BY
JUL 16, 2019	PRELIMINARY	RJ
AUG 01, 2019	PROGRESS	RJ
NOV 27, 2019	COORDINATION	RJ
DEC 17, 2019	PERMIT SUB	RJ
MAR 01, 2020	PERMIT SUB - PC	RJ
MAR 25, 2020	SCHEM REV	RJ
MAY 15, 2020	PERMIT SUB - PC	RJ
JUL 06, 2020	PERMIT SUB - PC 2	RJ

PLOT DATE	DRAWN	CHECKED	JOB #	SCALE
	RJ	AJ	19-57	

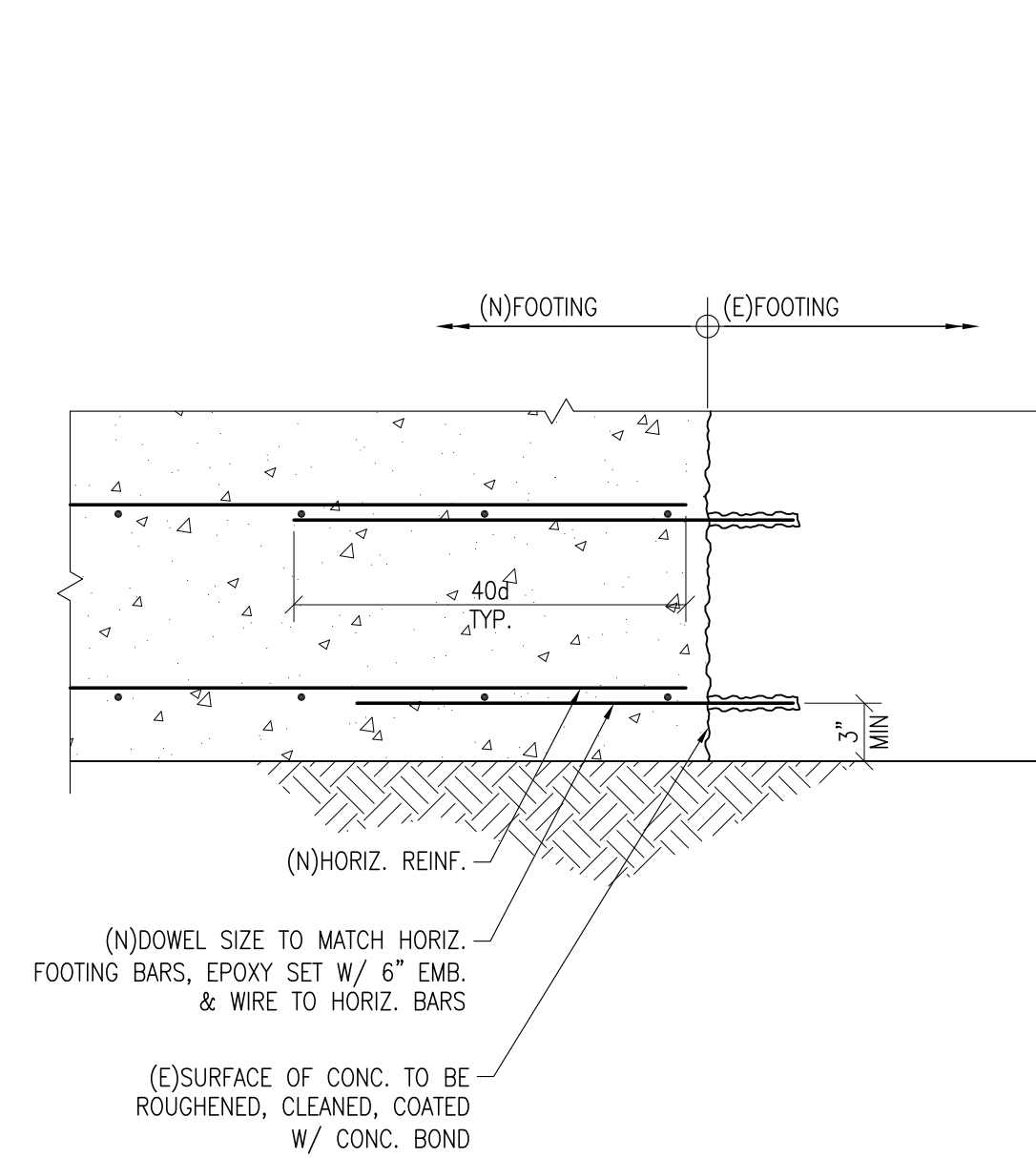


NOTES:
1. BENDS SHALL BE PER ACI-318.

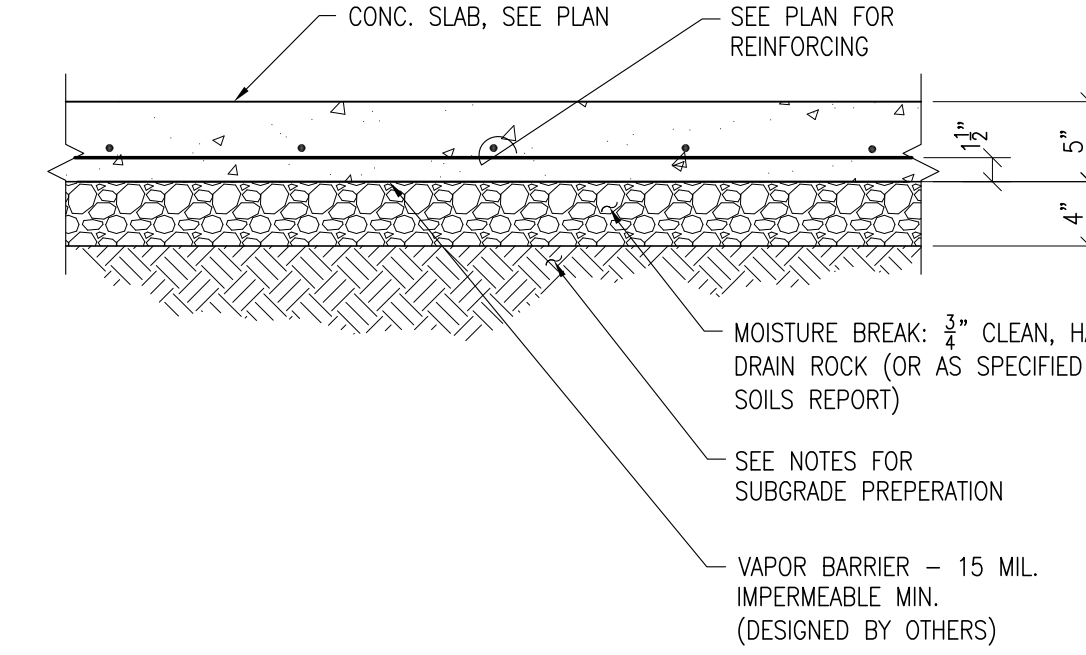
1 STEEL REINFORCING DETAILS N.T.S. T-C03.dwg



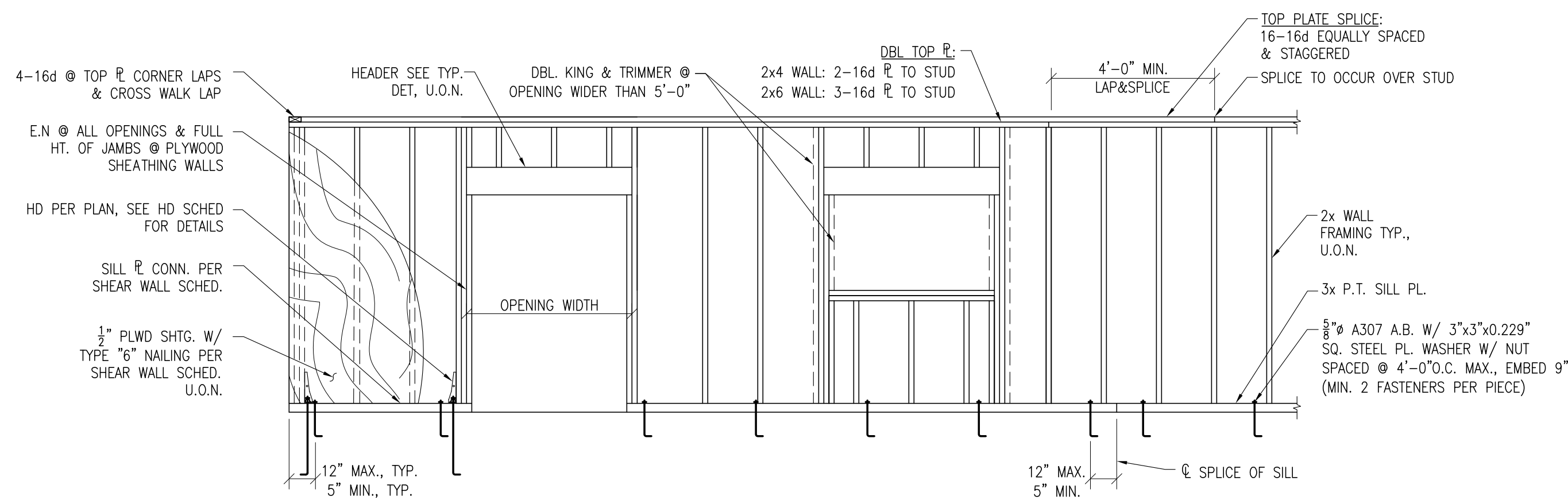
2 DETAIL - HORIZONTAL REINF. AT CONC. WALLS & FNDNS N.T.S. T-C07.dwg



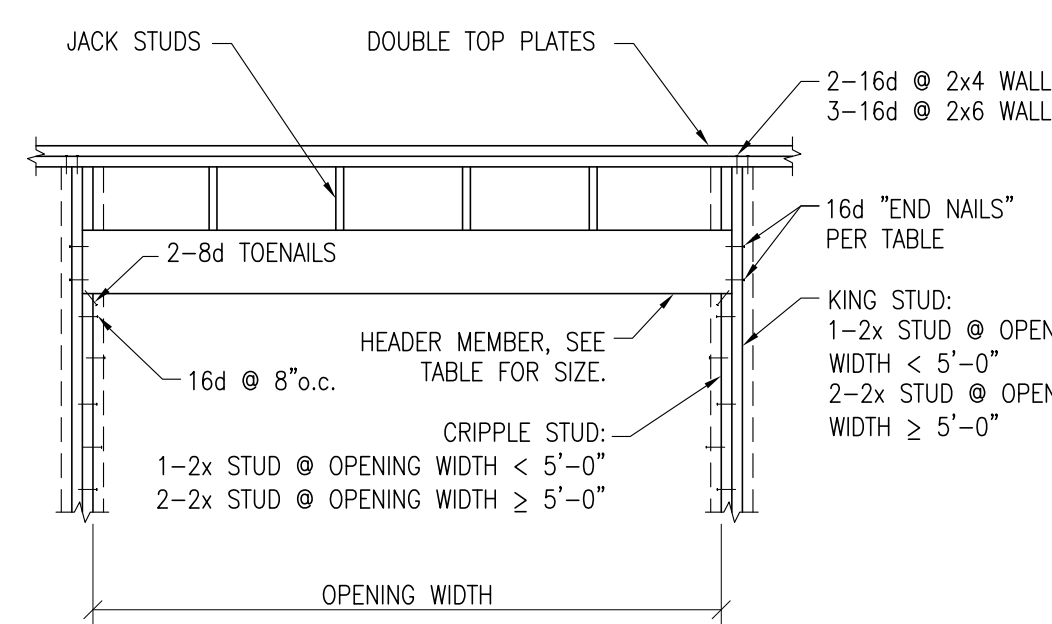
3 DETAIL - (N) TO (E) FOUNDATION CONN. 1" = 1'-0" T-C02.dwg



4 STRUCTURAL SLAB DETAILS N.T.S. T-C01.dwg

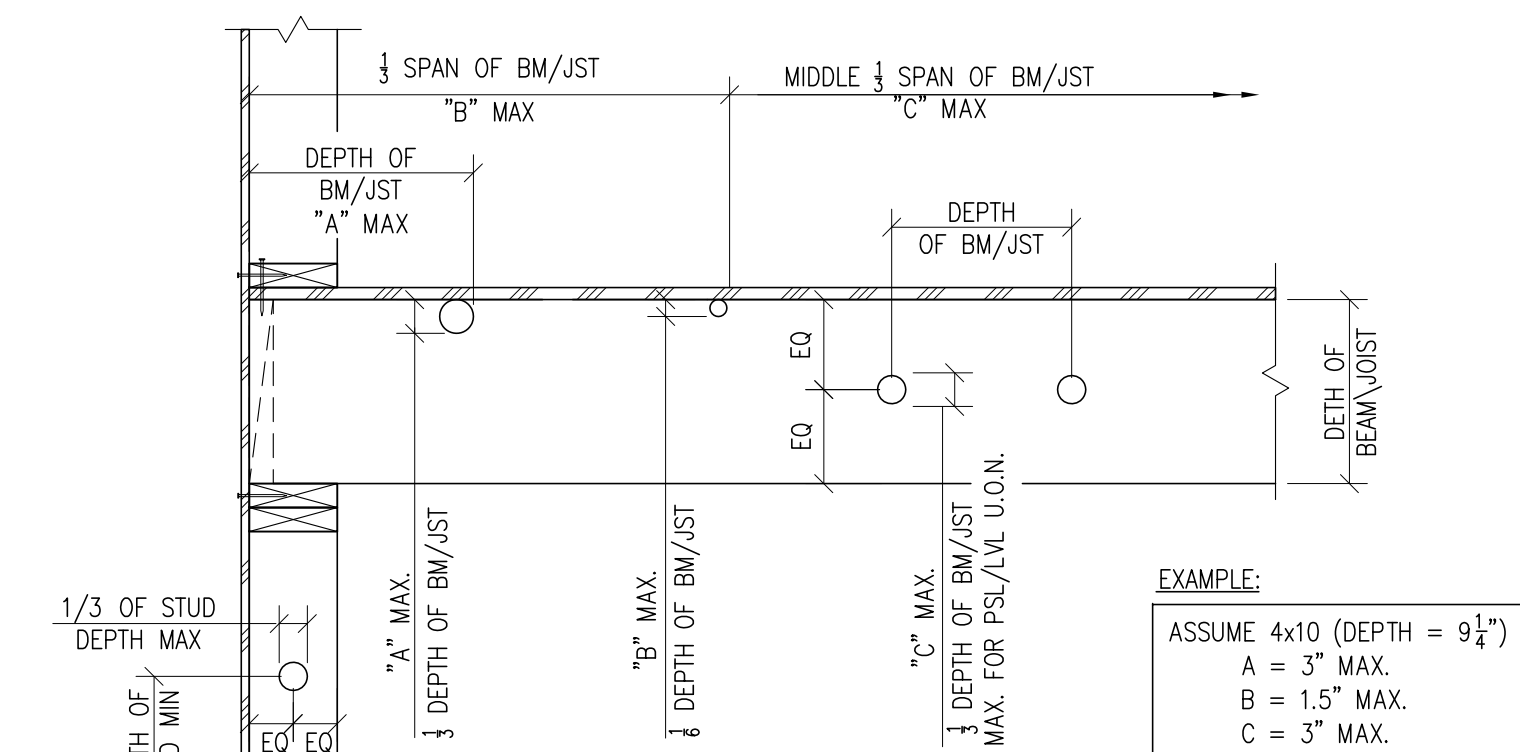


5 TYPICAL WALL FRAMING N.T.S. T-W04.dwg



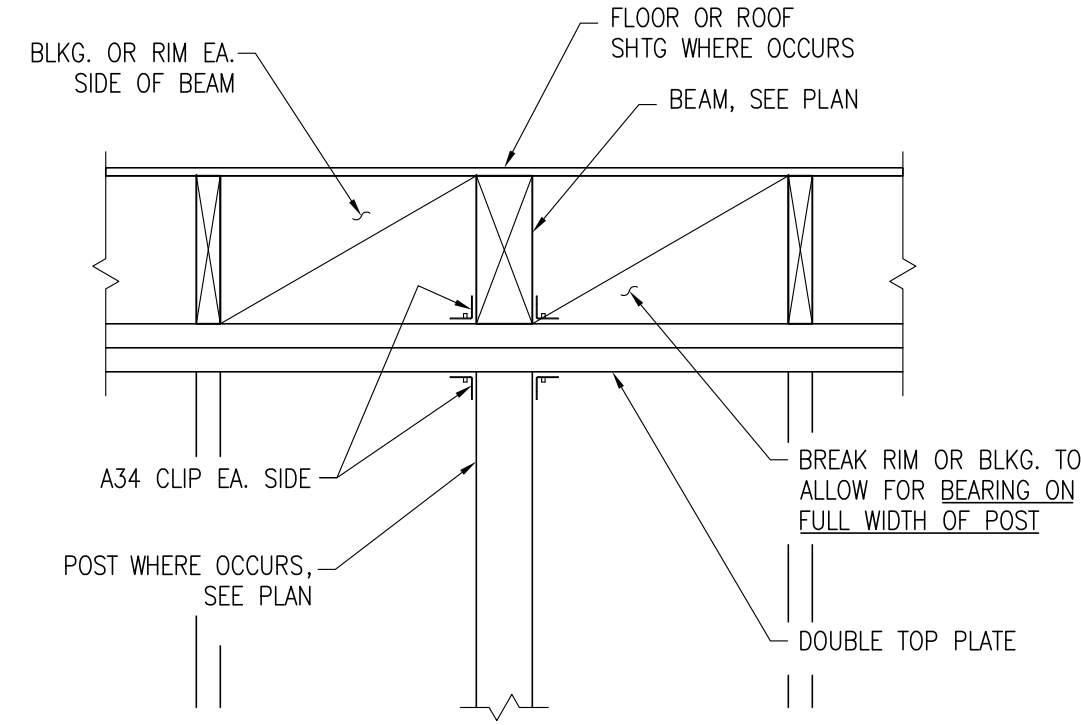
MAXIMUM OPENING WIDTH	HEADER SIZE (ROOF ONLY)		"END NAIL"	
	2x4 WALL	2x6 WALL	2x4 WALL	2x6 WALL
3'-0"	4x6	6x6	4-16d	6-16d
5'-0"	4x8	6x8	6-16d	9-16d
8'-0"	4x10	6x10	8-16d	9-16d
OVER 8'-0"	SEE PLAN	SEE PLAN	8-16d	9-16d

7 HEADER SCHEDULE - U.O.N. ON PLAN N.T.S. T-W08.dwg

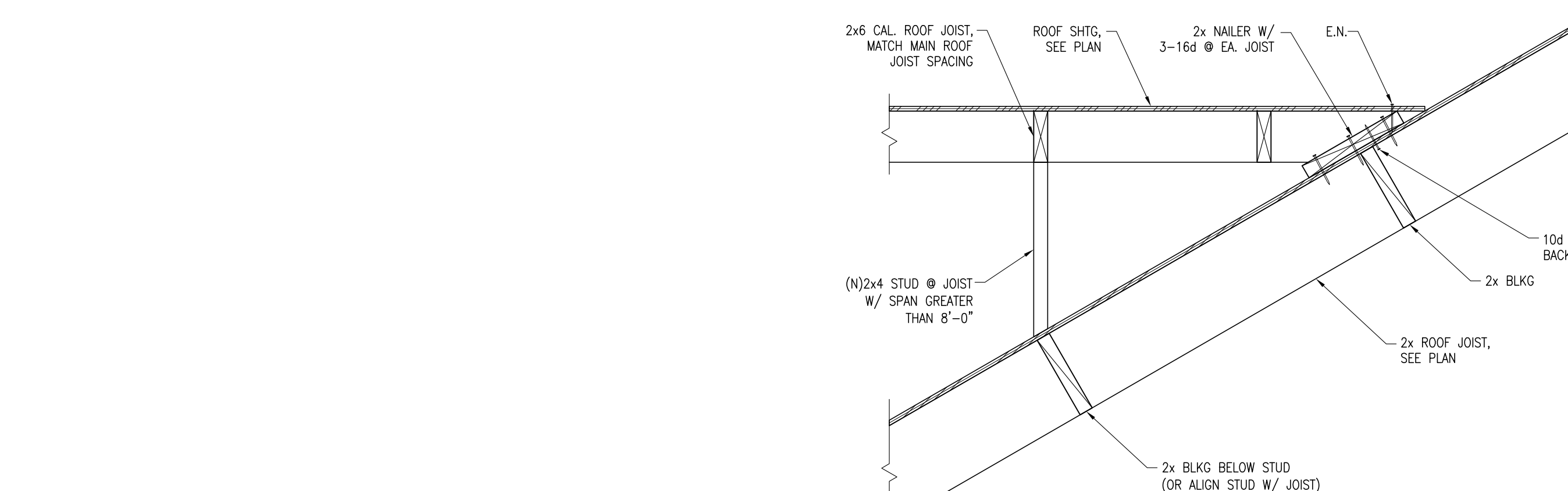


NOTES:
1. NO HOLES OR NOTCHES PERMITTED IN BOTTOM OF BEAMS OR JOISTS.
2. NO HOLES OR NOTCHES PERMITTED WHERE DEPTH OF BEAM IS 5 1/2" OR LESS. CONSULT W/ ENGINEER AS REQ'D.
3. THIS DETAIL APPLIES TO SOLID SAWN, PARALLAM, & MICROLAM. FOR OTHER MANUFACTURED WOOD PRODUCTS, NOTCH & DRILL PER MANUFACTURER'S PUBLISHED INSTRUCTIONS & LIMITATIONS.
4. NOTCHING OF STUDS NOT PERMITTED EXCEPT AS DETAILED.

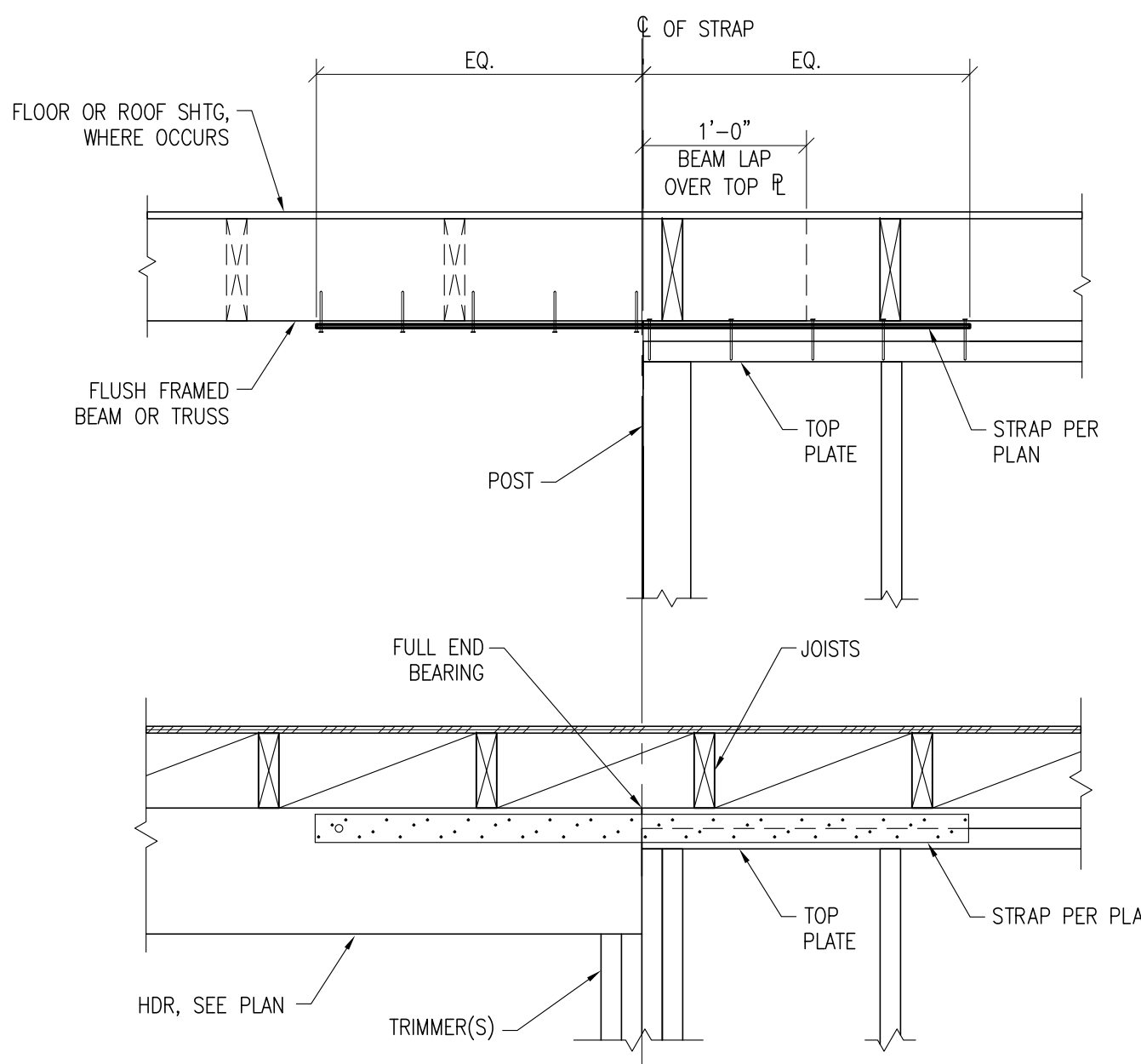
8 HOLES & NOTCHES IN FRAMING N.T.S. T-W13.dwg



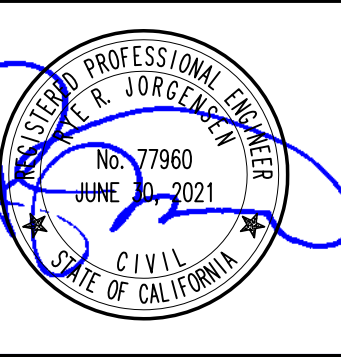
9 BEAM SUPPORT @ WALL 1" = 1'-0" T-W16A.dwg



11 TYPICAL CA ROOF FRAMING 1" = 1'-0" T-W01.dwg



12 STRAP @ DISCONTINUOUS TOP PLATE 1" = 1'-0" T-W17A.dwg



DATE	Δ	DESCRIPTION	BY
JUL 16, 2019		PRELIMINARY	RJ
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NOV 27, 2019		COORDINATION	RJ
DEC 17, 2019		PERMIT SUB	RJ
MAR 01, 2020		PERMIT SUB-PC	RJ
MAR 25, 2020		SCOPE REV	RJ
MAY 15, 2020		PERMIT SUB-PC	RJ
JUL 06, 2020		PERMIT SUB-PC 2	RJ

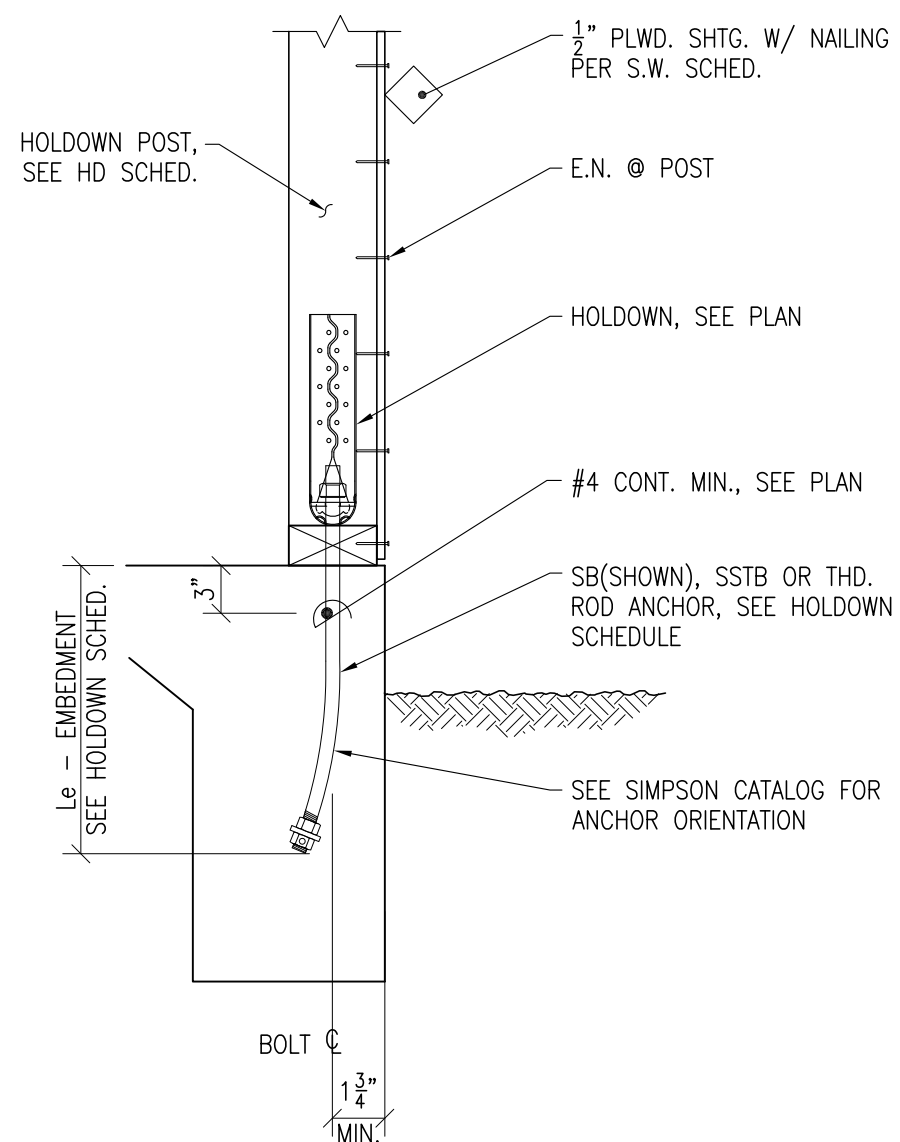
DATE	DESCRIPTION

DATE	DESCRIPTION

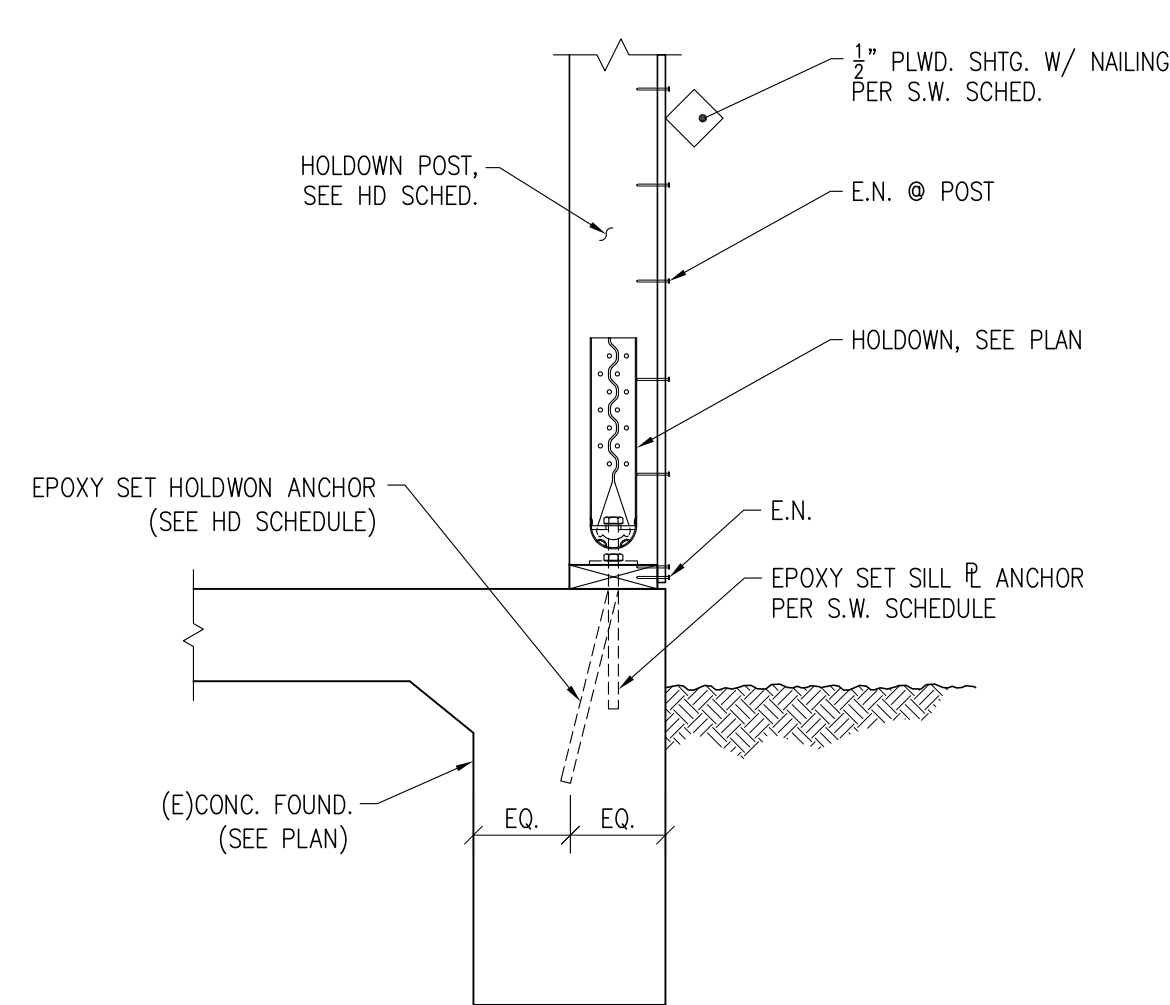
SHEET TITLE:
TYPICAL DETAILS

SHEET:

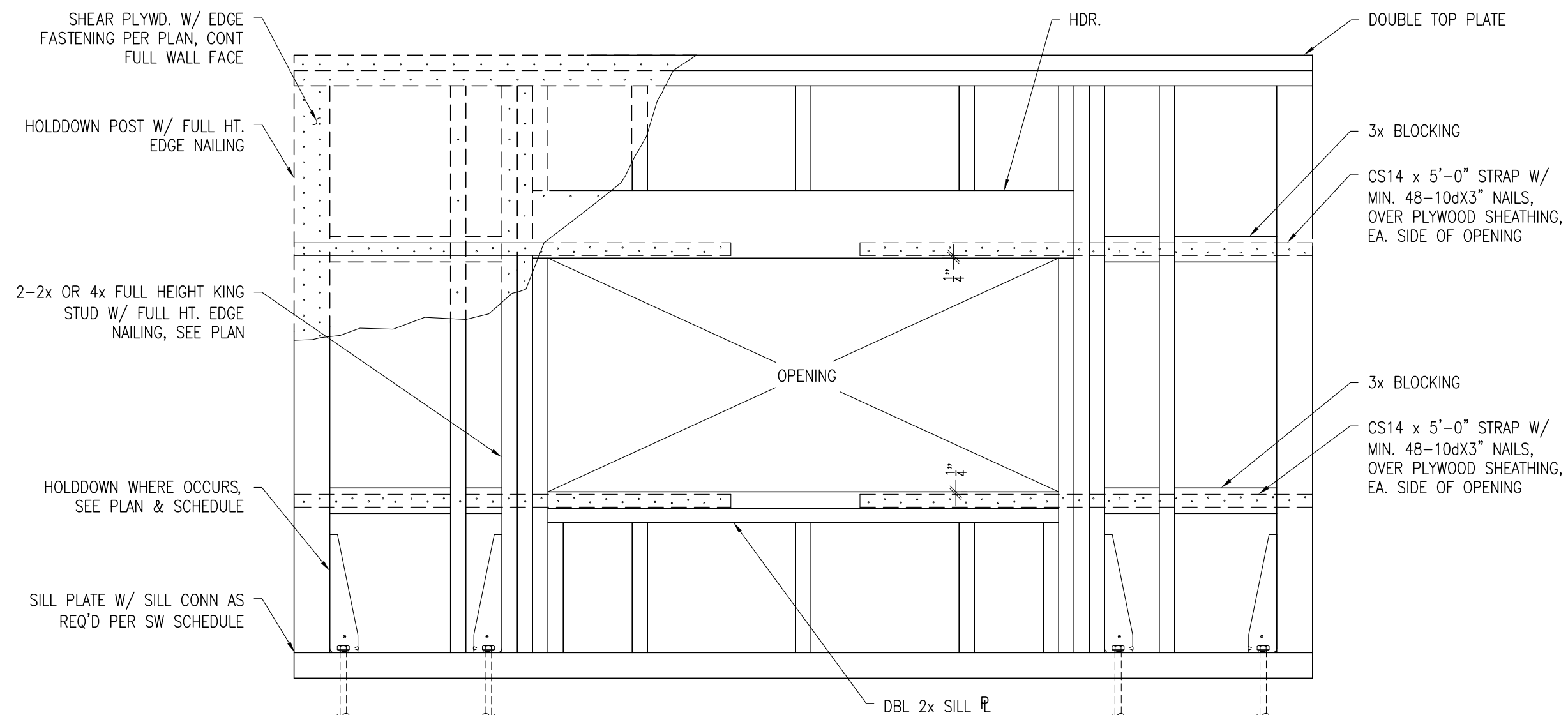
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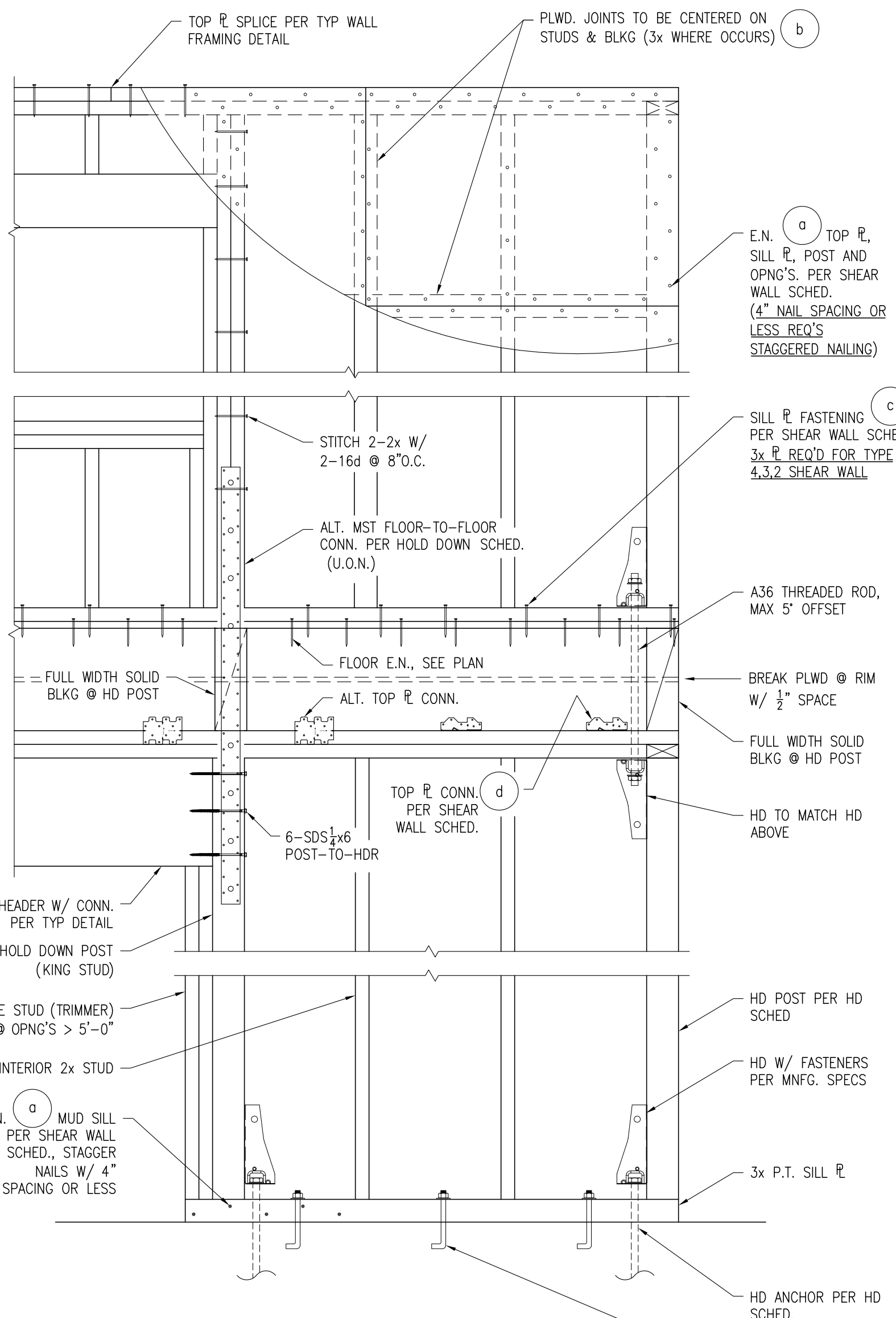
1 TYPICAL HOLDOWN INSTALLATION @ (N)FOUNDATION
1" = 1'-0"
T-C04C.dwg



2 RETRO-FIT HOLDOWN @ SLAB FTNG
N.T.S.
T-C04D

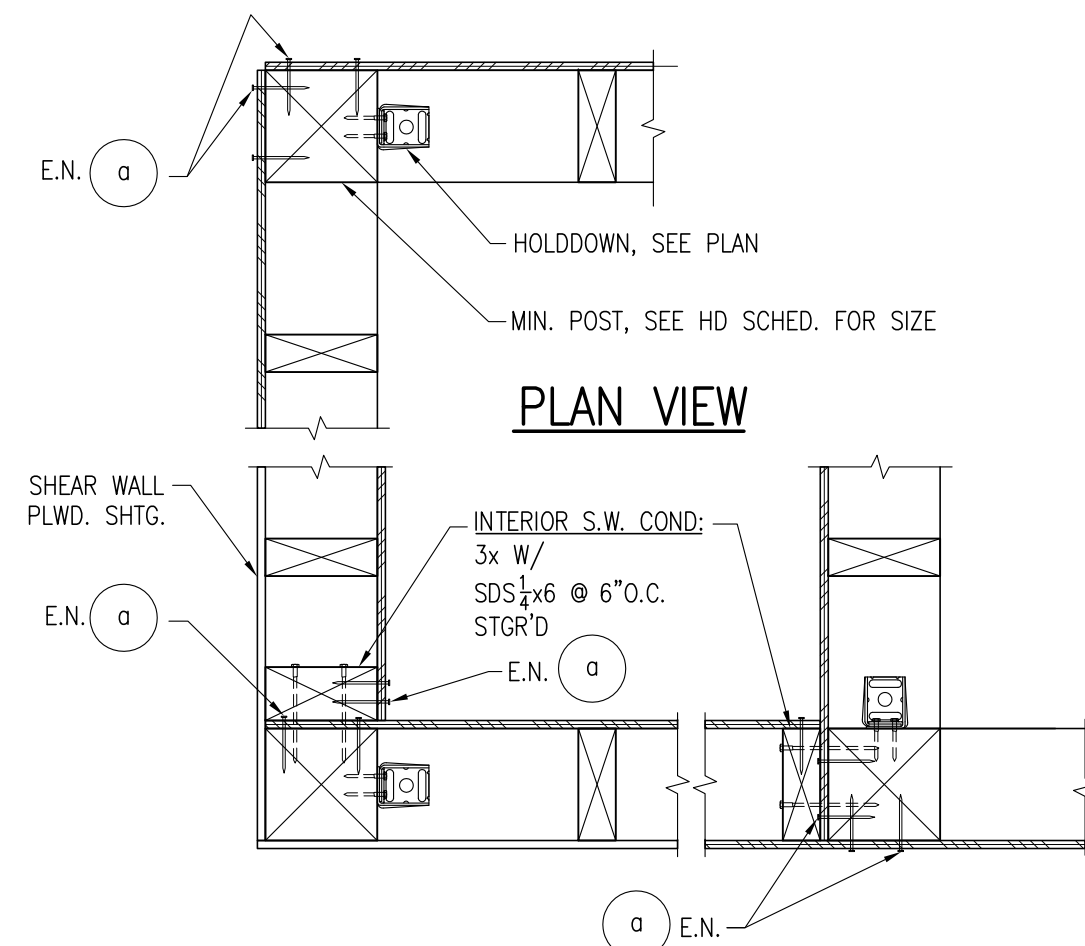


3 DETAIL - PERFORATED SHEAR WALL
N.T.S.
T-W05.dwg



- NOTES:**
- SHEATHING TO BE STRUCT 1 PER SHEAR WALL SCHED.
 - 1/2" GAP TYPICAL BETWEEN PANEL EDGES AT EACH FLOOR LEVEL.
 - ANCHOR BOLTS SPACED AT 4'-0" MAX U.O.N. SEE PLANS AND DETAILS FOR SIZE.
 - USE 3x SILL, STUDS AND BLOCKING WHERE E.N. SPACING = 4" OR LESS (STAGGER NAILING)
 - ALL P.T. MUD SILLS TO BE 3x.

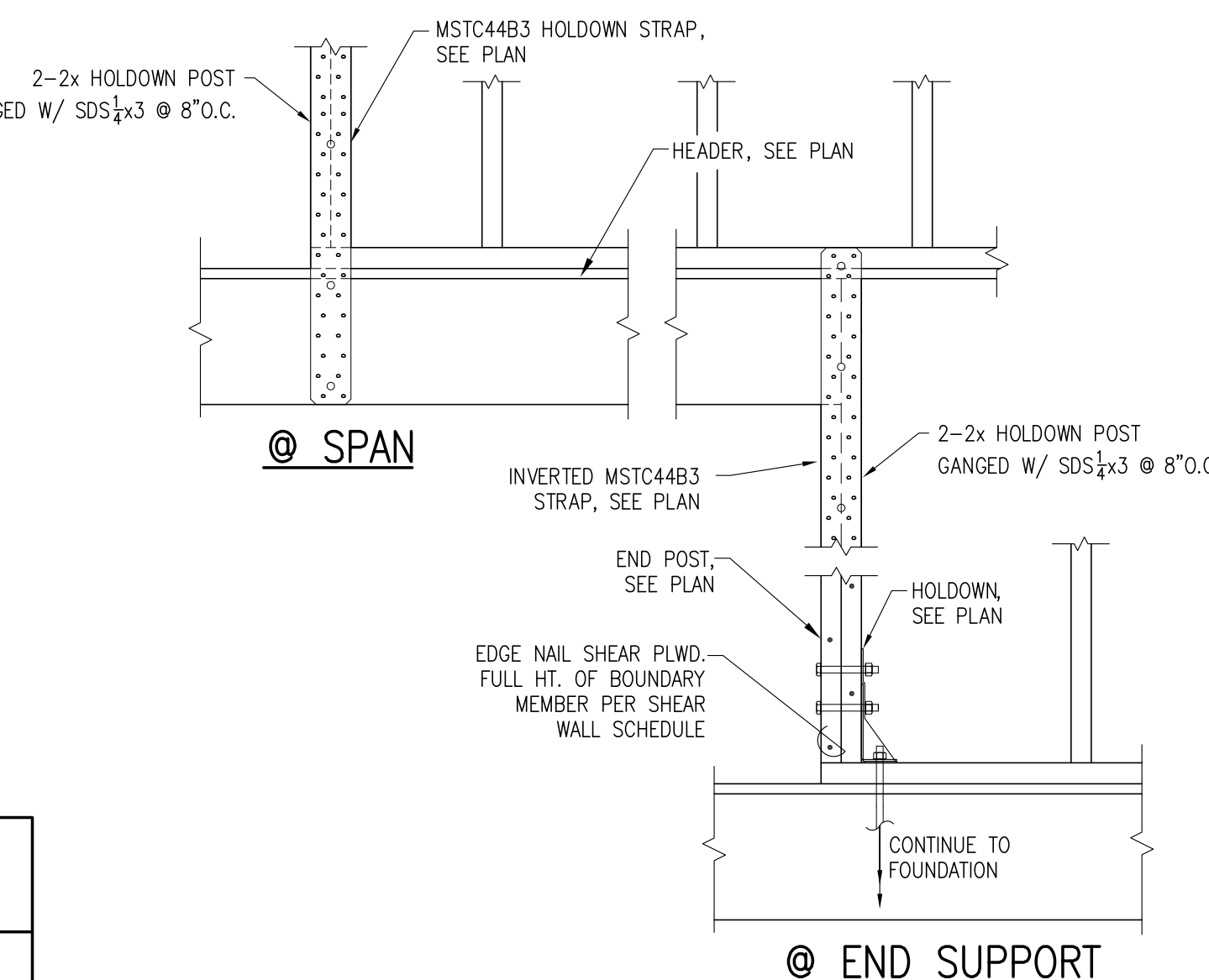
5 DETAIL - TYPICAL SHEARWALL ELEVATION
N.T.S.
T-W03.dwg



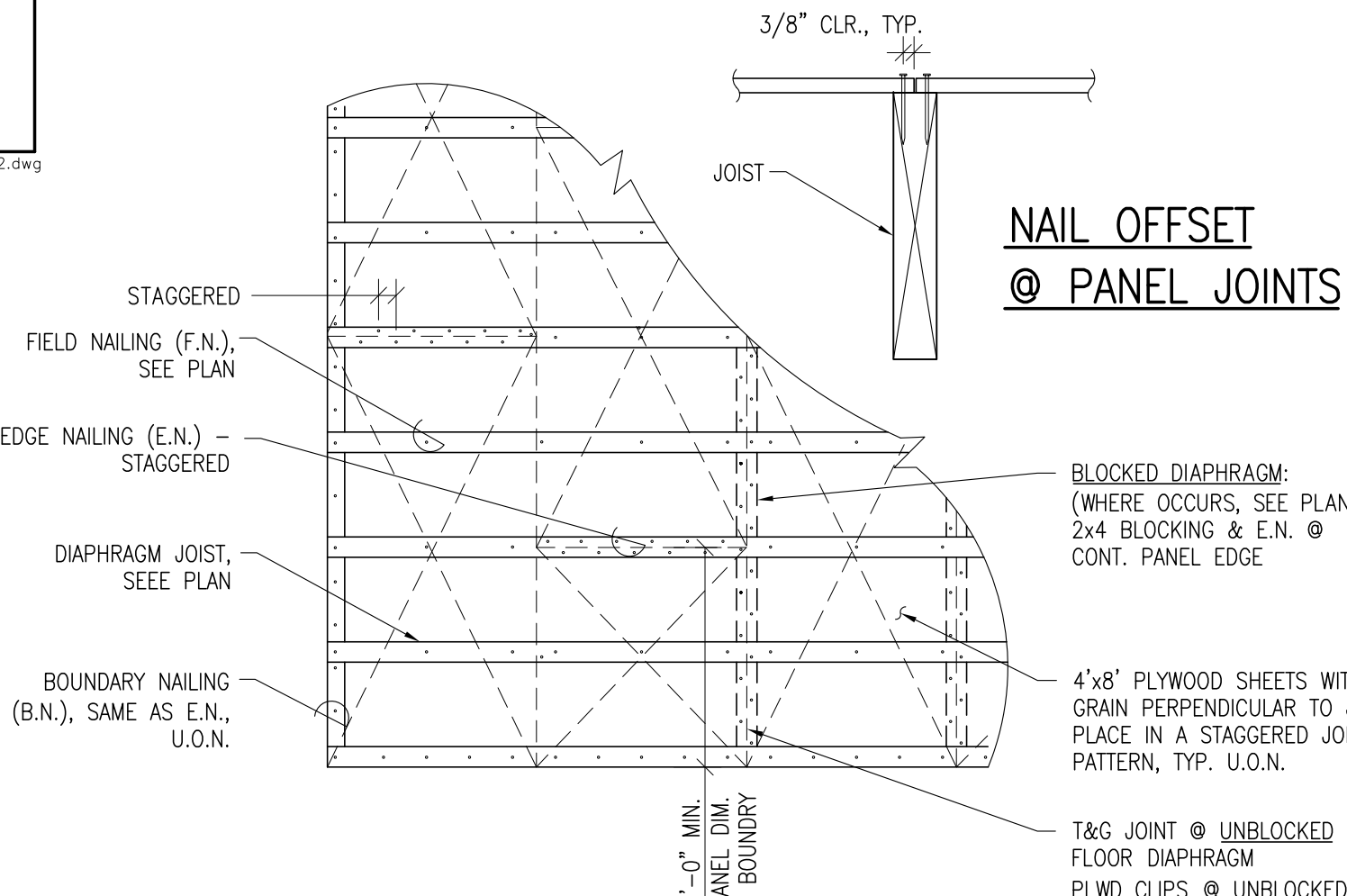
4 DETAIL - SHEAR WALL INTERSECTIONS
N.T.S.
T-W26.dwg

HOLDOWN & POST SCHEDULE									
HOLDOWN TYPE (STRAP OPT.)	ALLOW. TENSION LOAD (LBS.)	MIN. POST SIZE (NOM.)	ALT: 2-2x4 SPLICE	SSTB/SB ANCHOR		THREADED ROD ANCHOR (ASTM A36)		SQUARE WASHER @ BEAM (WHERE APPLIES)	NOTES:
				ANCHOR	MIN. EMBEDMENT	DIA.	MIN. EMBEDMENT CAST IN PLACE/ EPOXY SET		
HDU2 (MST48)	3075	4x4	SDS 1/2x3 @ 8" O.C.	SSTB24 OR SB 1/2x24	21" 18"	5/8" 16"	12"	1/2"x3"x3"	NOTES: 1. DOUGLAS FIR/LARCH NO. 1 2. SIZE AND CONFIGURATION OF WOOD FRAMING MEMBERS SHOWN VARIES, SEE PLAN. 3. FOR ANCHOR BOLT, SEE TYPICAL HD TO FOOTING DETAIL & SCHEDULE. 4. COUNTERSINKING OF HOLDOWN BOLTS INTO THE POST IS NOT ALLOWED. PROVIDE ADDITIONAL 2x NAILER IF REQUIRED TO COVER BOLT HEADS. 5. TRIMMING OF JACK STUDS AT ENDS OF OPENINGS: A SINGLE TRIM (JACK) STUD PLUS SHIM SPACE ADJACENT TO THE HOLDOWN POST IS ACCEPTABLE TO ALLOW FOR ADJUSTMENTS OF OPENINGS ADJACENT TO SHEAR WALLS. LOCATE THE HOLDOWN POST DIRECTLY ADJACENT TO JACK STUD AND SHIMS. 6. WHERE POSSIBLE, USE VERTICAL LOAD CARRYING POSTS SHOWN ON PLANS AS HOLDOWN POSTS. INSTALLATION: HOLDOWNS ARE TO BE INSTALLED AS SPECIFIED IN TYPICAL DETAILS SHOWN ON THIS PAGE AND MANUFACTURER RECOMMENDATIONS.
HDU5 (MST60)	5645	4x4	SDS 1/2x3 @ 8" O.C.	SSTB24 OR SB 1/2x24	21" 18"	5/8" 18"	12"	1/2"x3"x3"	
HDU8	6970	4x4	N/A	SB 1/2x24	18"	5/8" 20"	16"	1/2"x4"x4"	
HDU11	7870	4x6	N/A	SB 1/2x24	24"	1" 24"	18"	N/A	
HDU14	9535	4x6	N/A	SB 1x30	24"	1" 24"	18"	N/A	
HDU14	14445	6x6	N/A	SB 1x30	24"	1" 24"	18"	N/A	

SHEAR WALL SCHEDULE - 2016 CBC										
WALL TYPE	ALLOWABLE SHEAR (PLF)	SHEATHING	NAILING		SILL/SOLE SIZE	STUDS/BLK PLWD JOINTS	SILL PLATE CONNECTION	TOP PLATE CONNECTION	SILL PLATE ANCHOR BOLT	NOTES:
			EDGE (E.N.)	FIELD (F.N.)						
6	340	STRUCT. 1 SHEATHING	10@96" O.C.	10@12" O.C.	2x (3x MUD SILL)	2x	16d @ 6" O.C.	A35 @ 24" O.C.	3/8@48" O.C.	NOTES: 1. 10d(2 1/2"x148") COMMON NAILS TYPICAL. 2. 10d(2 1/2"x128") GALVANIZED BOX NAILS AT PRESSURE TREATED WOOD. 3. STUD/BLOCK SIZES INDICATED ARE REQUIRED AT PANEL EDGES ONLY. 4. EDGE NAILING SHALL BE STAGGERED WHEN PLACED AT 4" O.C. OR LESS. 5. PROVIDE A MINIMUM OF 1/2" EDGE DISTANCE FOR ALL NAILING. 6. ALL HARDWARE IS "SIMPSON STRONG TIE CONNECTORS" (OR EQUIVALENT) 7. ALL ANCHOR BOLTS IN (E)CONCRETE SHALL BE A307 AND TO BE EMBEDDED MIN. 9". DO NOT "WET-SET" 8. ALL ANCHOR BOLTS IN (E)CONCRETE SHALL BE A307 OF THE SAME SIZE AND SPACING, INSTALLED AND EPOXY SET INTO THE EXISTING CONCRETE PER THE MANUFACTURER'S SPECIFICATIONS, PROVIDE 7" MIN. EMB. U.O.N. 9. ALL ANCHOR BOLTS SHALL HAVE 3"x3"x229" SQ. STEEL PLATE WASHER WITH NUT, U.O.N. 10. PANEL JOINTS SHALL BE STAGGERED ON THE STUDS PER TYPICAL SHEAR WALL ELEVATION. 11. ALL MUD SILL PLATES SHALL BE 3x AND SHALL BE PRESSURE TREATED WHERE IN CONTACT WITH CONCRETE OR MASONRY.
4	510		10@94" O.C.	10@12" O.C.	3x	3x	SDS 1/2"x6" @ 12" O.C.	A35 @ 16" O.C.	3/8@32" O.C.	
3	665		10@83" O.C.	10@12" O.C.	3x	3x	SDS 1/2"x6" @ 8" O.C.	A35 @ 12" O.C.	3/8@24" O.C.	
2	870		10@82" O.C.	10@12" O.C.	3x	3x	SDS 1/2"x6" @ 4" O.C.	A35 @ 8" O.C.	3/8@16" O.C.	
3S	1330	STRUCT. 1 SHEATHING BOTH SIDES OF WALL	10@93" O.C.	10@12" O.C.	3x	4x	SDS 1/2"x6" @ 3" O.C.	A35 @ 8" O.C.	3/8@16" O.C.	

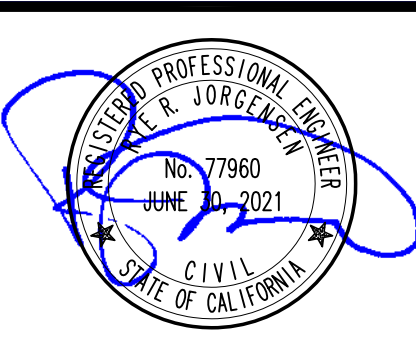


6 HOLDOWN DETAIL - TIMBER BEAM
N.T.S.
T-W27.dwg



- NOTES:**
- APPLY PLYWOOD SHEATHING W/ FACE GRAIN PERP. TO JOIST AS SHOWN. STAGGER EDGES 4'-0" AS SHOWN.
 - E.N. AT ALL SHEAR WALLS, BEAMS AND WHERE SHOWN ON PLAN AND DETAILS.
 - ALL ROOF NAILING SHALL BE INSPECTED BEFORE ANY ROOFING MATERIALS ARE APPLIED

7 DETAIL - HORIZ. DIAPHRAGM NAILING (BLOCKED & UNBLOCKED SEE PLAN)
N.T.S.
T-W02.dwg



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MAR 25, 2020	SCOPE REV	RJ
MAY 15, 2020	PERMIT SUB-PC	RJ
JUL 06, 2020	PERMIT SUB-PC 2	RJ

DATE	DESCRIPTION	BY

SHEET TITLE:
SHEAR WALL DETAILS

SHEET:
S1.3



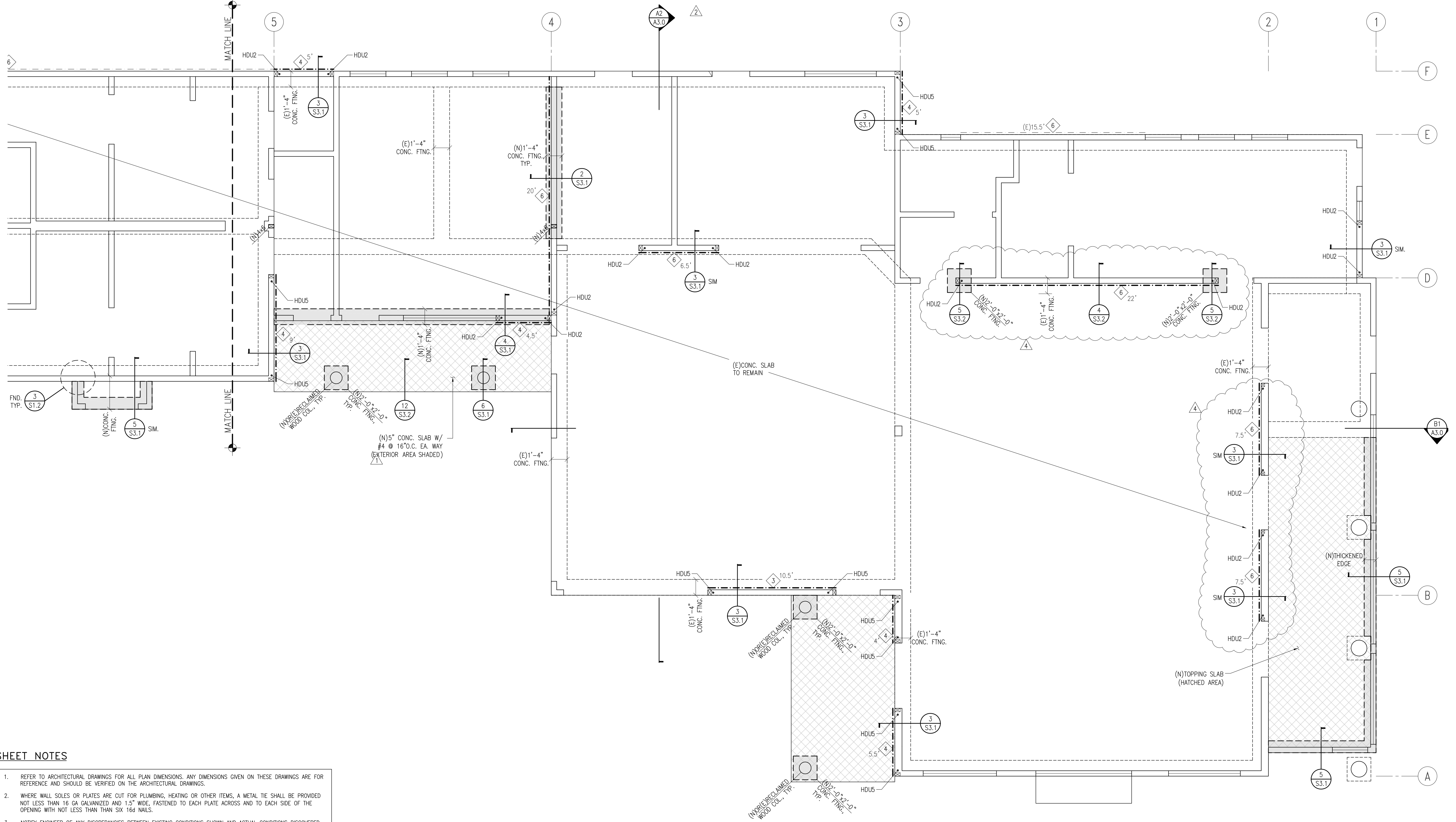
SLEEPY HOLLOW COMMUNITY CENTER
 1317 BUTTERFIELD RD
 SAN ANSELMO, CA
 APN: 176-162-07

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MAR 25, 2020	SCOPE REV	RJ
MAY 15, 2020	PERMIT SUB - PC	RJ
JUL 06, 2020	PERMIT SUB - PC 2	RJ
SEP 15, 2020	CONST REV	RJ

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MAR 01, 2020	PERMIT SUB - PC
MAR 25, 2020	SCOPE REV
MAY 15, 2020	PERMIT SUB - PC
JUL 06, 2020	PERMIT SUB - PC 2
SEP 15, 2020	CONST REV

SHEET TITLE:
PLAN

SHEET:
S2.1



SHEET NOTES

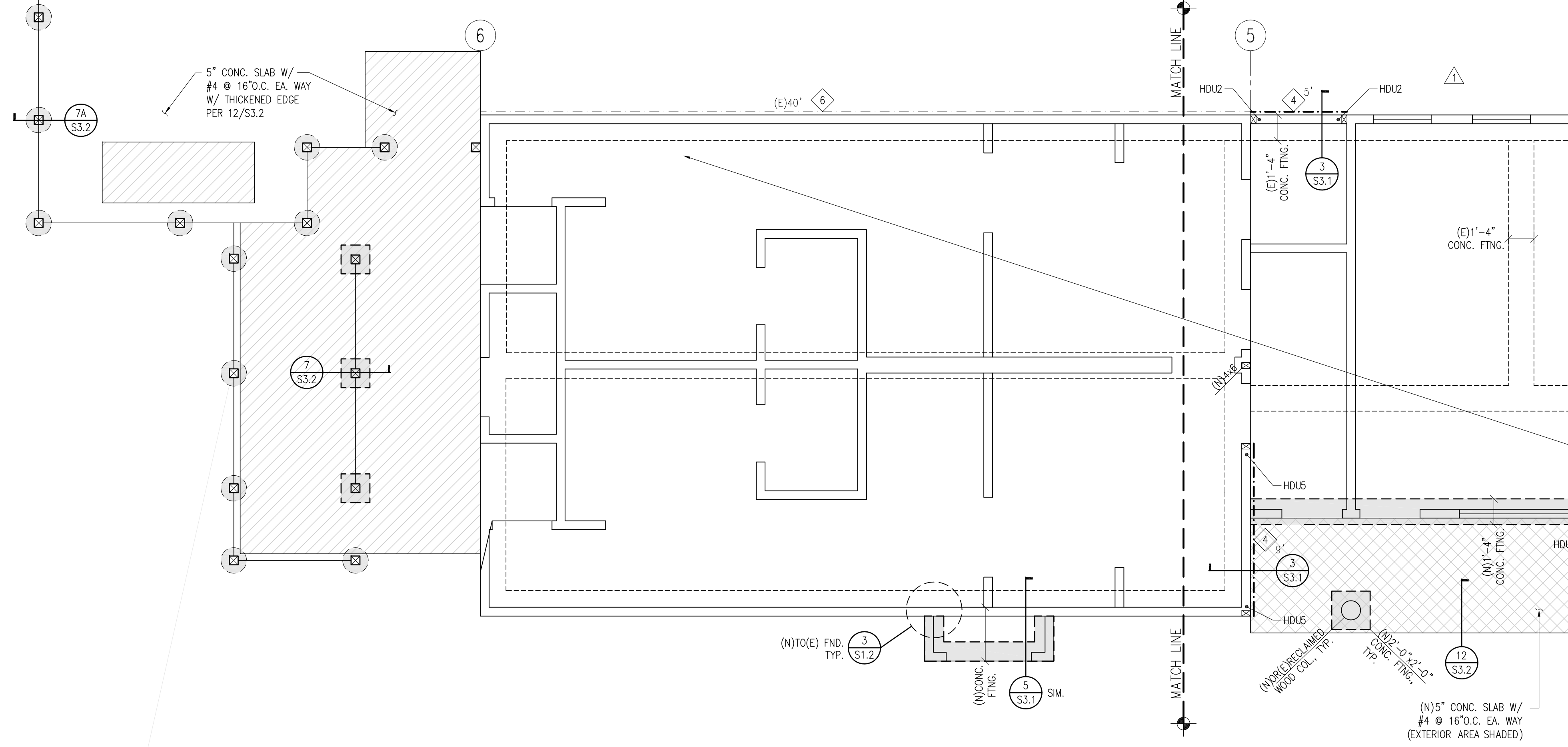
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL PLAN DIMENSIONS. ANY DIMENSIONS GIVEN ON THESE DRAWINGS ARE FOR REFERENCE AND SHOULD BE VERIFIED ON THE ARCHITECTURAL DRAWINGS.
- WHERE WALL SOLES OR PLATES ARE CUT FOR PLUMBING, HEATING OR OTHER ITEMS, A METAL TIE SHALL BE PROVIDED NOT LESS THAN 16 GA GALVANIZED AND 1.5" WIDE, FASTENED TO EACH PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN SIX 16d NAILS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS SHOWN AND ACTUAL CONDITIONS DISCOVERED DURING CONSTRUCTION.
- MAXIMUM STUD AND JOIST PENETRATIONS ALLOWED SHALL BE PER 8/S1.2
- FOR ADD. FASTENING INFO., SEE FASTENING SCHEDULE ON SHEET S1.1

LEGEND

(E) CONCRETE FOUNDATION	(N) HEADER PER DETAIL 7/S1.2, U.O.N.
(N) CONCRETE FOOTING W/ 16" DEPTH BELOW TOP OF COMPETENT MATERIAL T.B.D. BY ENGINEER	(E) HEADER (V.I.F.)
BAR BENDS AT FOOTINGS & GRADE BEAMS SHALL BE PER TYPICAL DETAIL 1/S1.2	(N) WOOD OR STEEL BEAM
WOOD-FRAMED BEARING WALL WITH 2x6 STUDS @ 16" O.C. U.O.N. 1/2" CD-X PLYWOOD SHEATHING @ EXTERIOR. CONSTRUCT PER 5/S1.2 U.O.N.	COMMON JST/RAFTER @ SPECIFIED SPACING
WOOD-FRAMED SHEAR WALL OF NOTED LENGTH WITH 1/2" CD-X PLYWOOD SHEATHING WITH FASTENING PER SHEAR WALL SCHEDULE	FLUSH FRAMED BEAM-TO-BEAM CONNECTIONS WITH SIMPSON HARDWARE OR EQUIV.
STRUCTURAL WALLS BELOW	(N)(E) POST
SHEAR WALL BELOW W/ DIAPHRAGM CONN. PER S.W. SCHED & DETAILS	(N)(E) POST BELOW FRAMING
PARTITION WALL-NON STRUCTURAL	HDU2 SIMPSON HOLDOWN INSTALLED PER HOLDOWN SCHEDULE & DETAILS

1 PARTIAL FOUNDATION/FLOOR PLAN

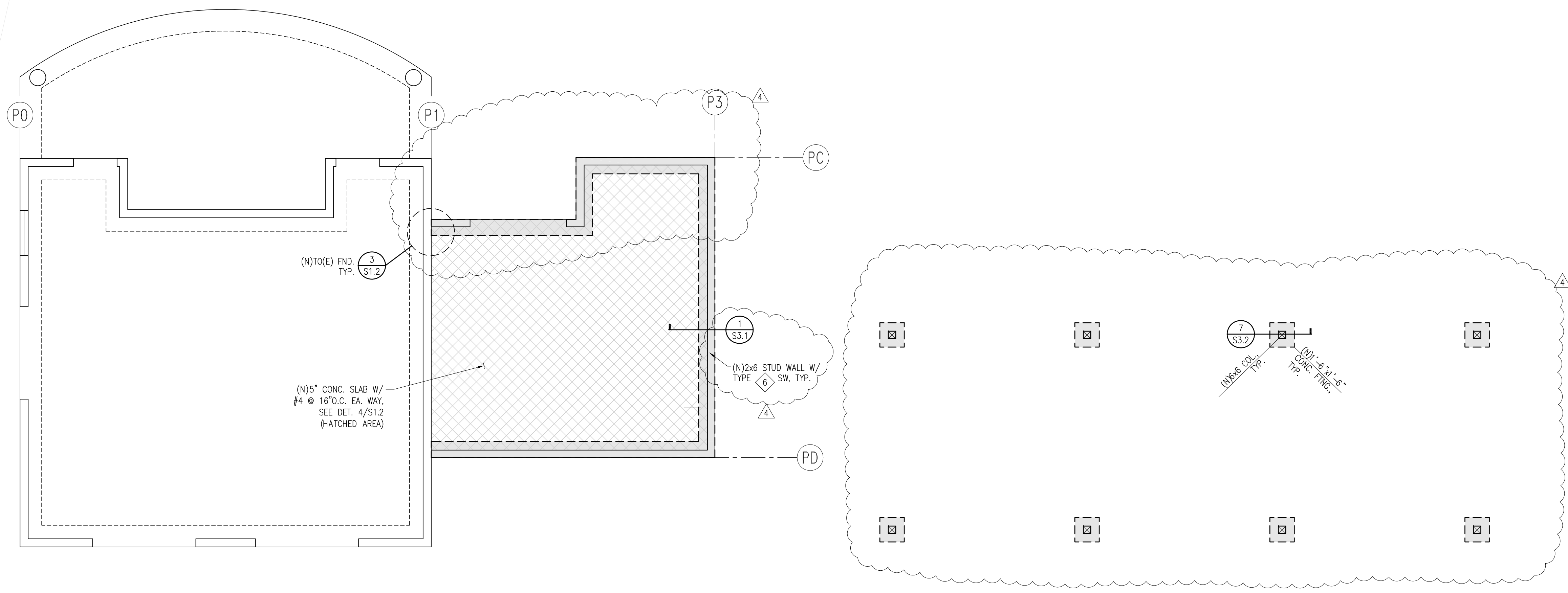
1/4" = 1'-0"



LEGEND

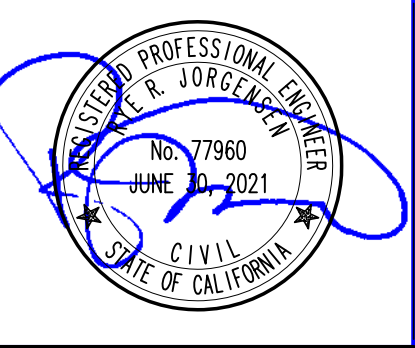
	(E)CONCRETE FOUNDATION		(N)HEADER PER DETAIL 7/S1.2, U.O.N.
	(N)CONCRETE FOOTING W/ 16" DEPTH BELOW TOP OF COMPETENT MATERIAL T.B.D. BY ENGINEER		(E)HEADER (V.I.F.)
BAR BENDS AT FOOTINGS & GRADE BEAMS SHALL BE PER TYPICAL DETAIL 1/S1.2			
	WOOD-FRAMED BEARING WALL WITH 2x6 STUDS @ 16" O.C. U.O.N. 1/2" CD-X PLYWOOD SHEATHING @ EXTERIOR. CONSTRUCT PER 5/S1.2 U.O.N.		(N)WOOD OR STEEL BEAM
	WOOD-FRAMED SHEAR WALL OF NOTED LENGTH WITH 1/2" CD-X PLYWOOD SHEATHING WITH FASTENING PER SHEAR WALL SCHEDULE		COMMON JOIST/RAFTER @ SPECIFIED SPACING
	STRUCTURAL WALLS BELOW		FLUSH FRAMED BEAM-TO-BEAM CONNECTIONS WITH SIMPSON HARDWARE OR EQUIV.
	SHEAR WALL BELOW W/ DIAPHRAGM CONN. PER S.W. SCHED & DETAILS		(N)OR(E)POST
	PARTITION WALL-NON STRUCTURAL		(N)OR(E)POST BELOW FRAMING
			SIMPSON HOLDOWN INSTALLED PER HOLDOWN SCHEDULE & DETAILS

- SHEET NOTES**
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL PLAN DIMENSIONS. ANY DIMENSIONS GIVEN ON THESE DRAWINGS ARE FOR REFERENCE AND SHOULD BE VERIFIED ON THE ARCHITECTURAL DRAWINGS.
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 - MAXIMUM STUD AND JOIST PENETRATIONS ALLOWED SHALL BE PER 8/S1.2
 - FOR ADD. FASTENING INFO., SEE FASTENING SCHEDULE ON SHEET S1.1



1 PARTIAL FOUNDATION/FLOOR PLAN 1/4" = 1'-0"

JORGENSEN ENGINEERING
 PO BOX 812
 PLEASANTON, CA 94553
 707-981-7284
 INFO@JORGENSENENGINEERING.COM



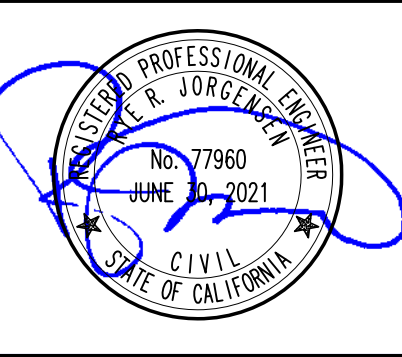
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JUL 06, 2020	PERMIT SUB - PC 2	RJ
SEP 15, 2020	CONST REV	RJ

PLOT DATE	
DRAWN	RJ
CHECKED	AJ
JOB #	19-57
SCALE	

SHEET TITLE:
PLAN

SHEET:
S2.2



SLEEPY HOLLOW COMMUNITY CENTER
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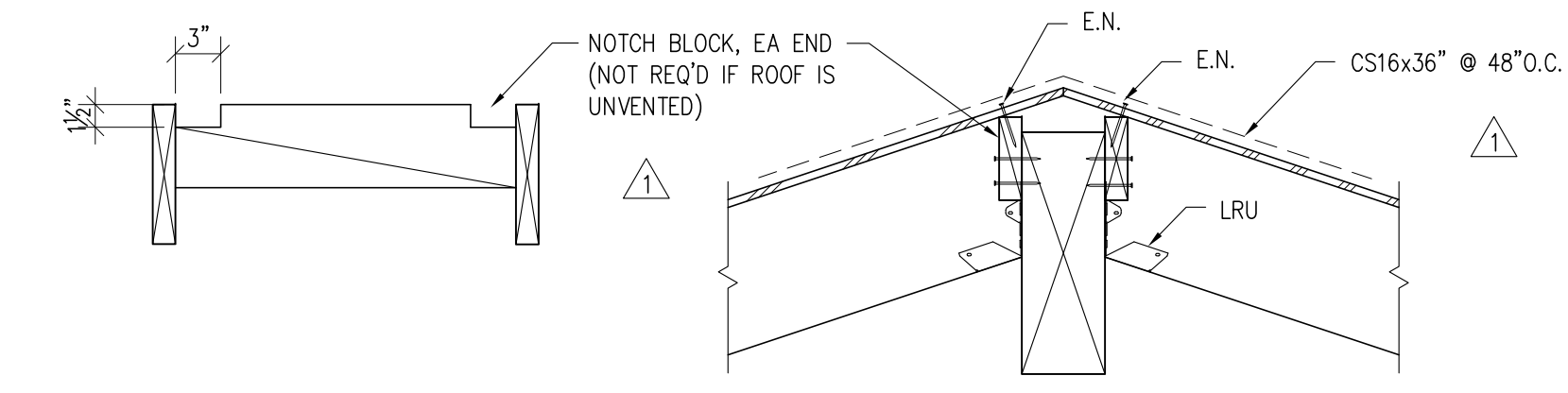
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CHECKED	AJ
JOB #	19-57
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SHEET TITLE:

DETAILS

SHEET:

S3.1



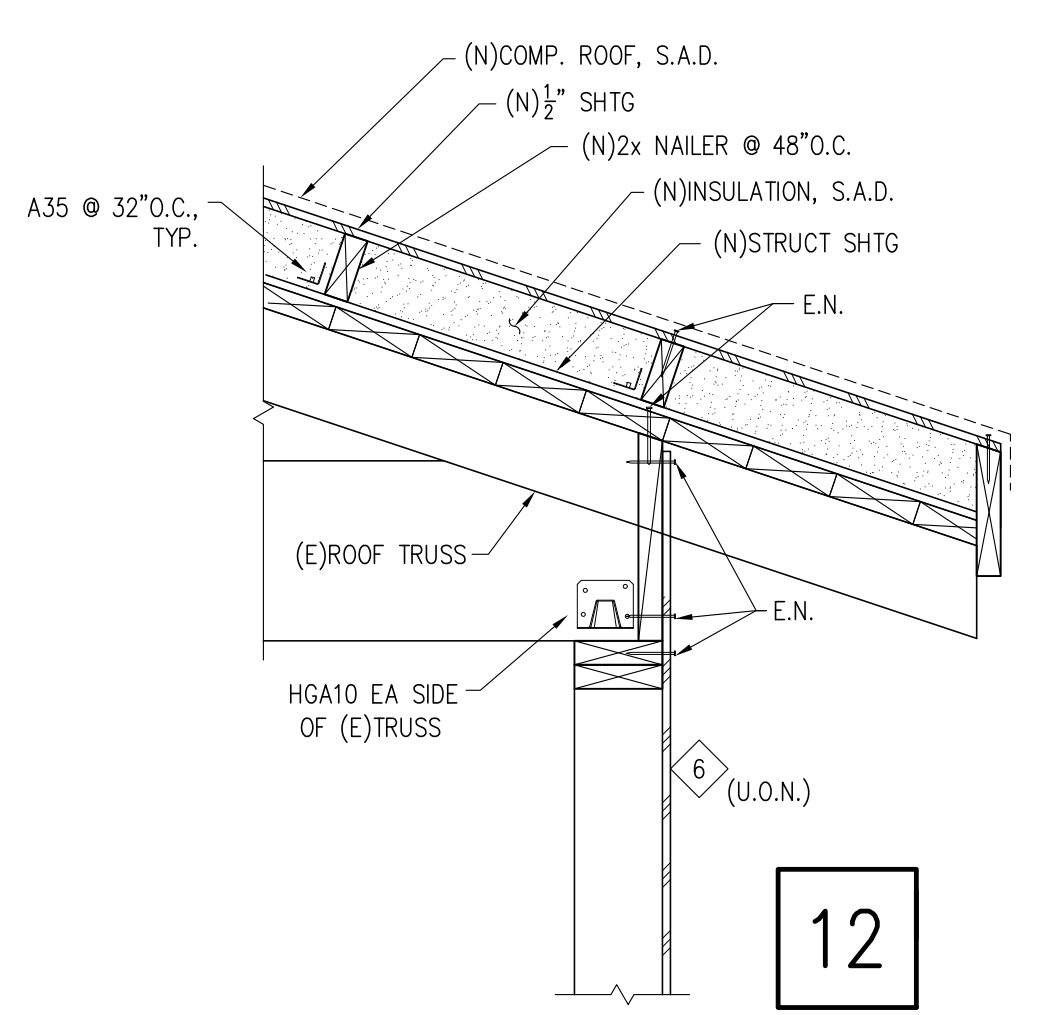
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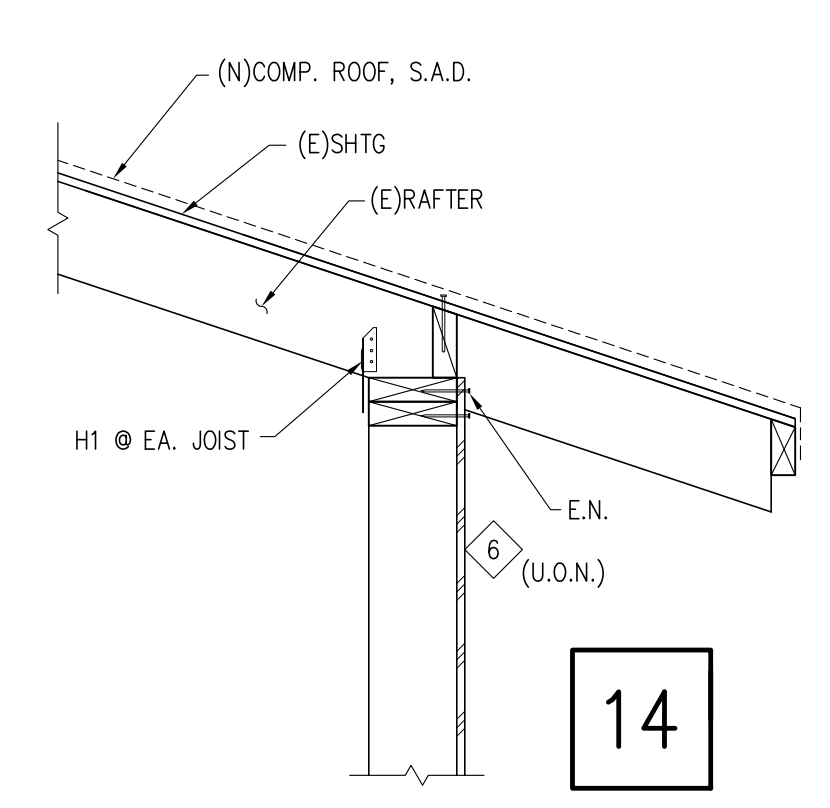
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SEE SHEAR WALL SCHEDULE FOR FASTENING DETAILS

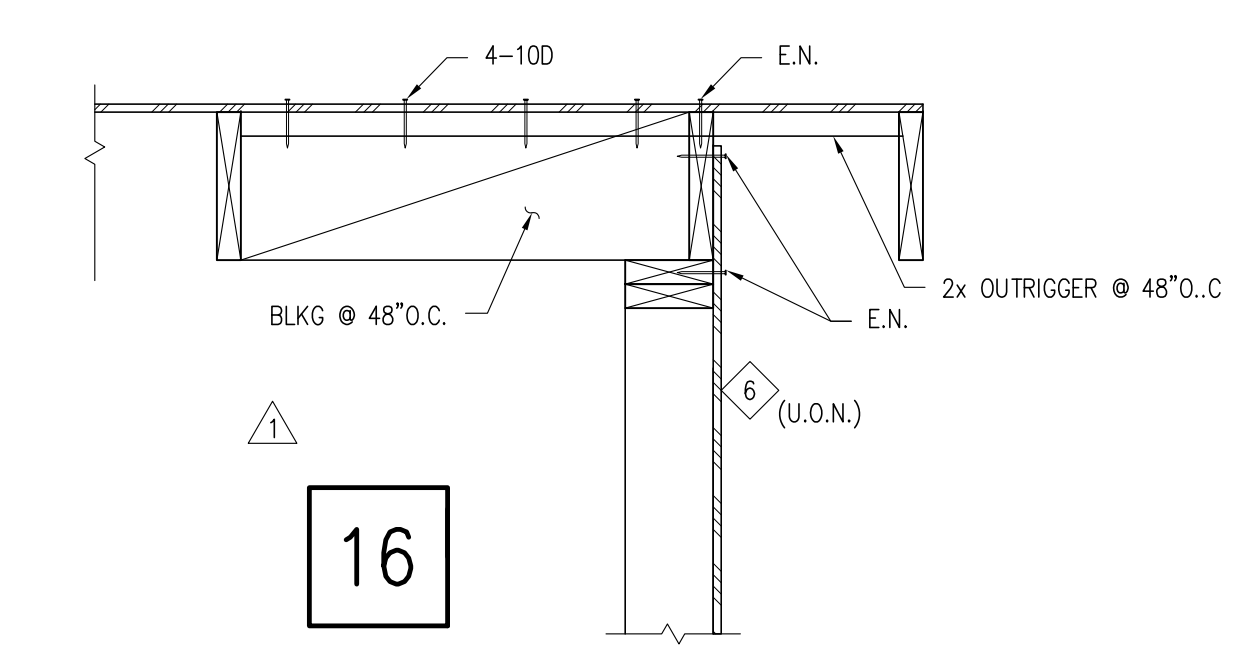


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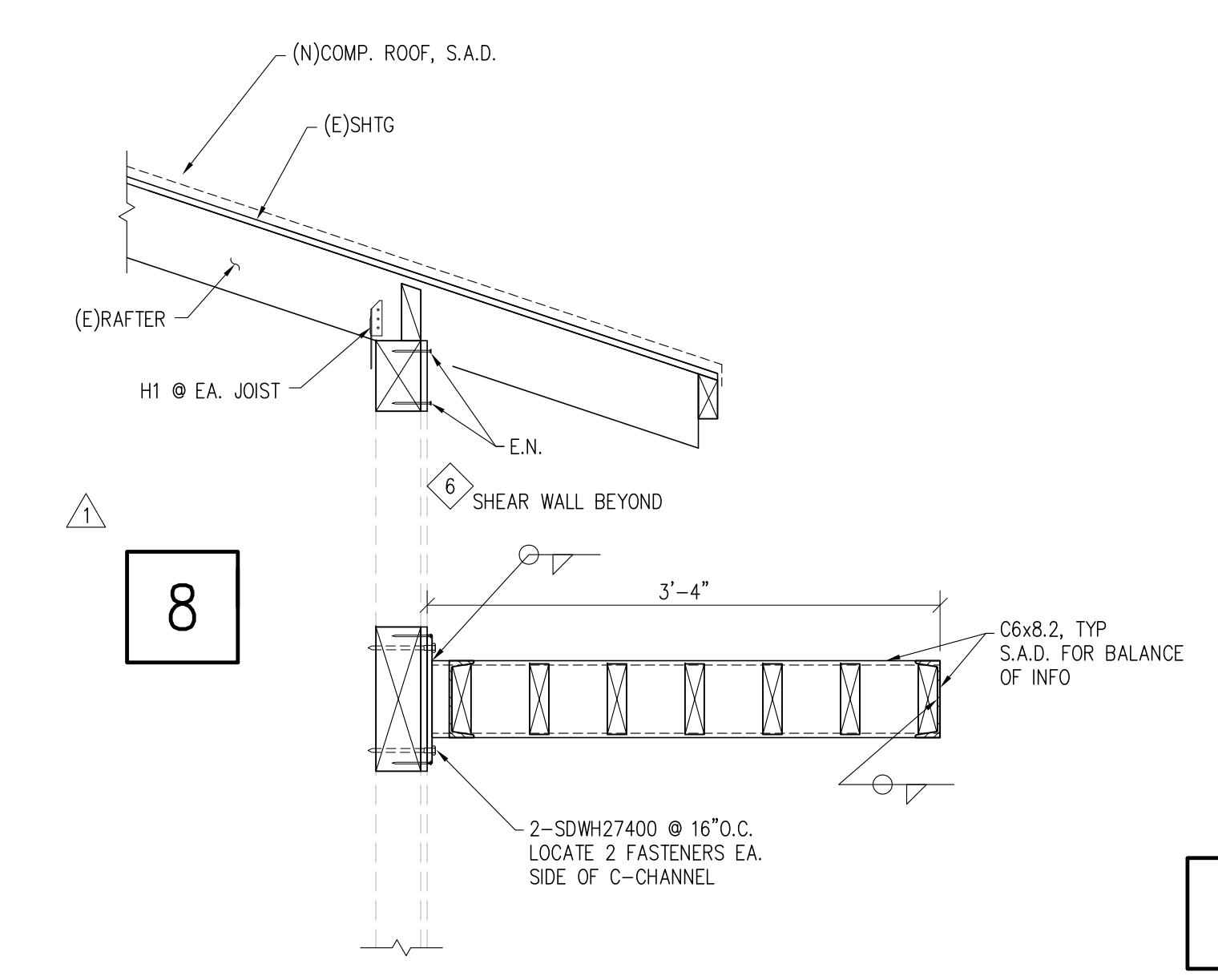


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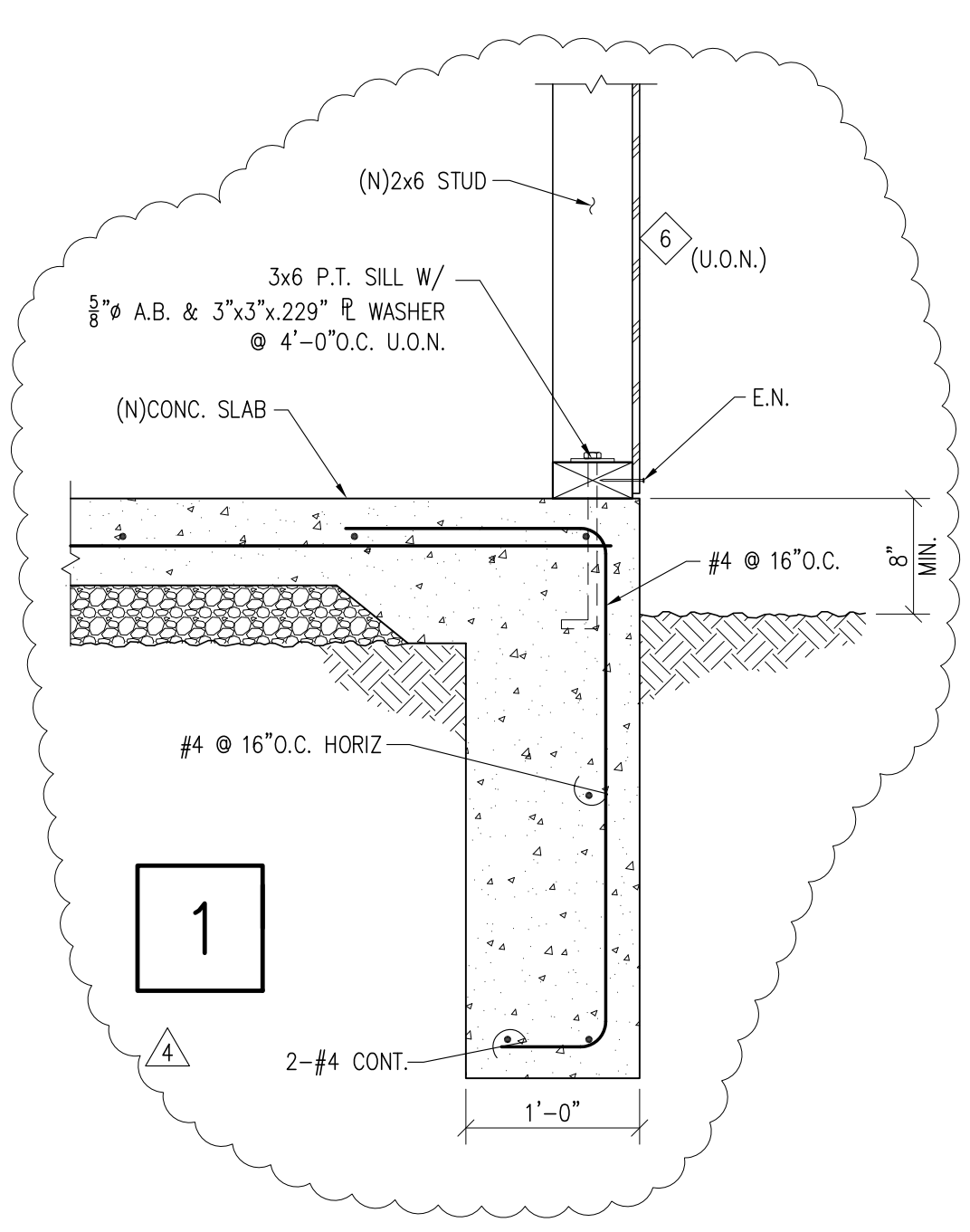
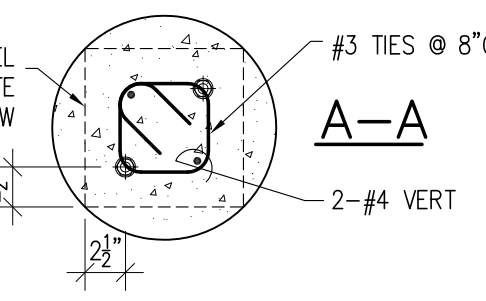
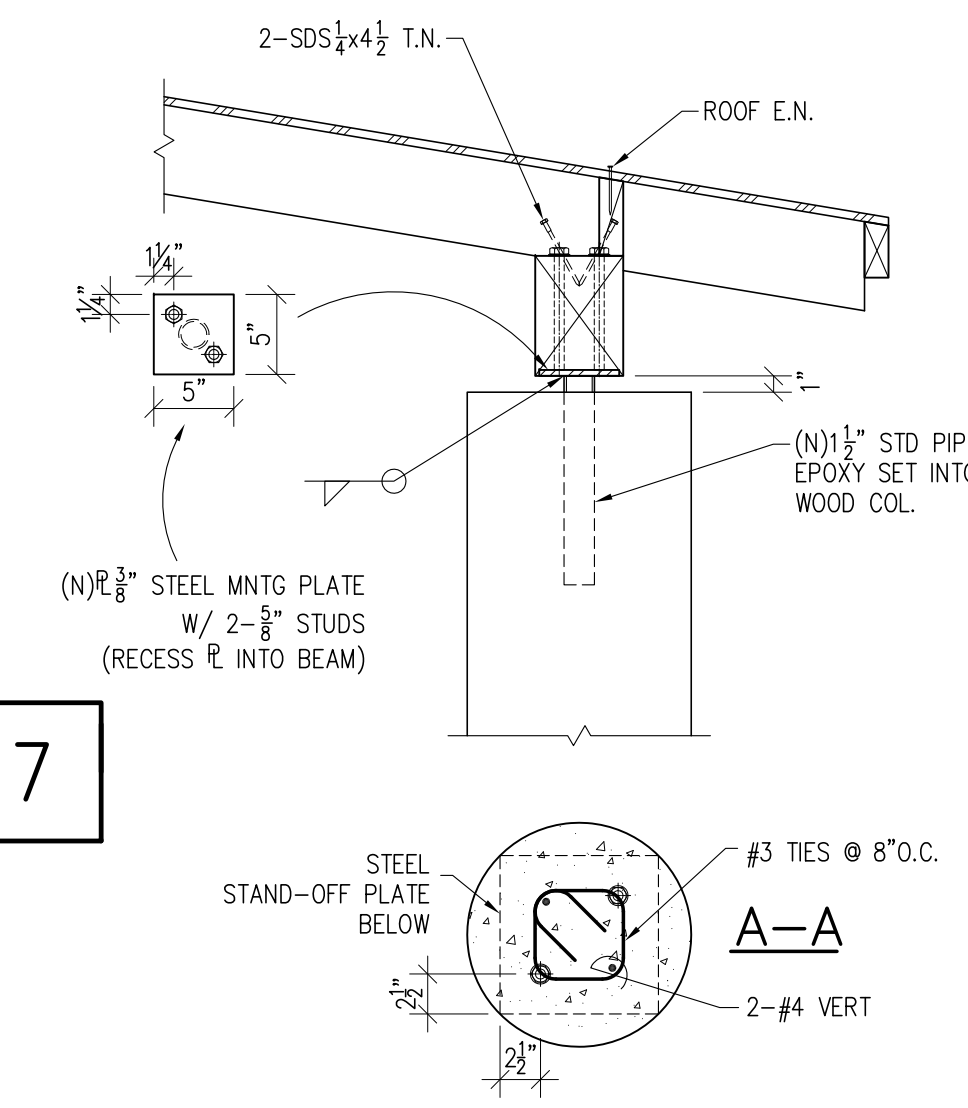
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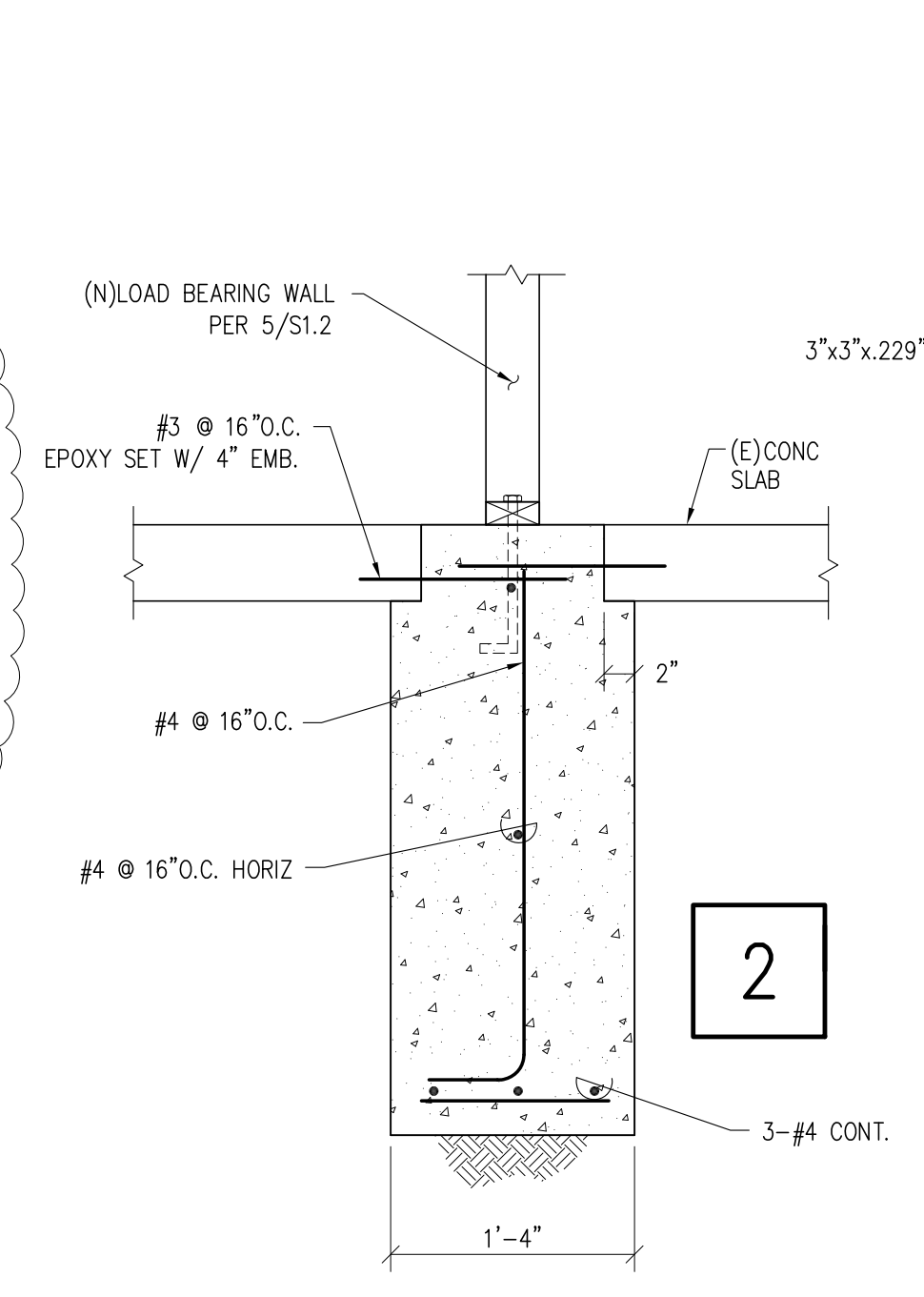


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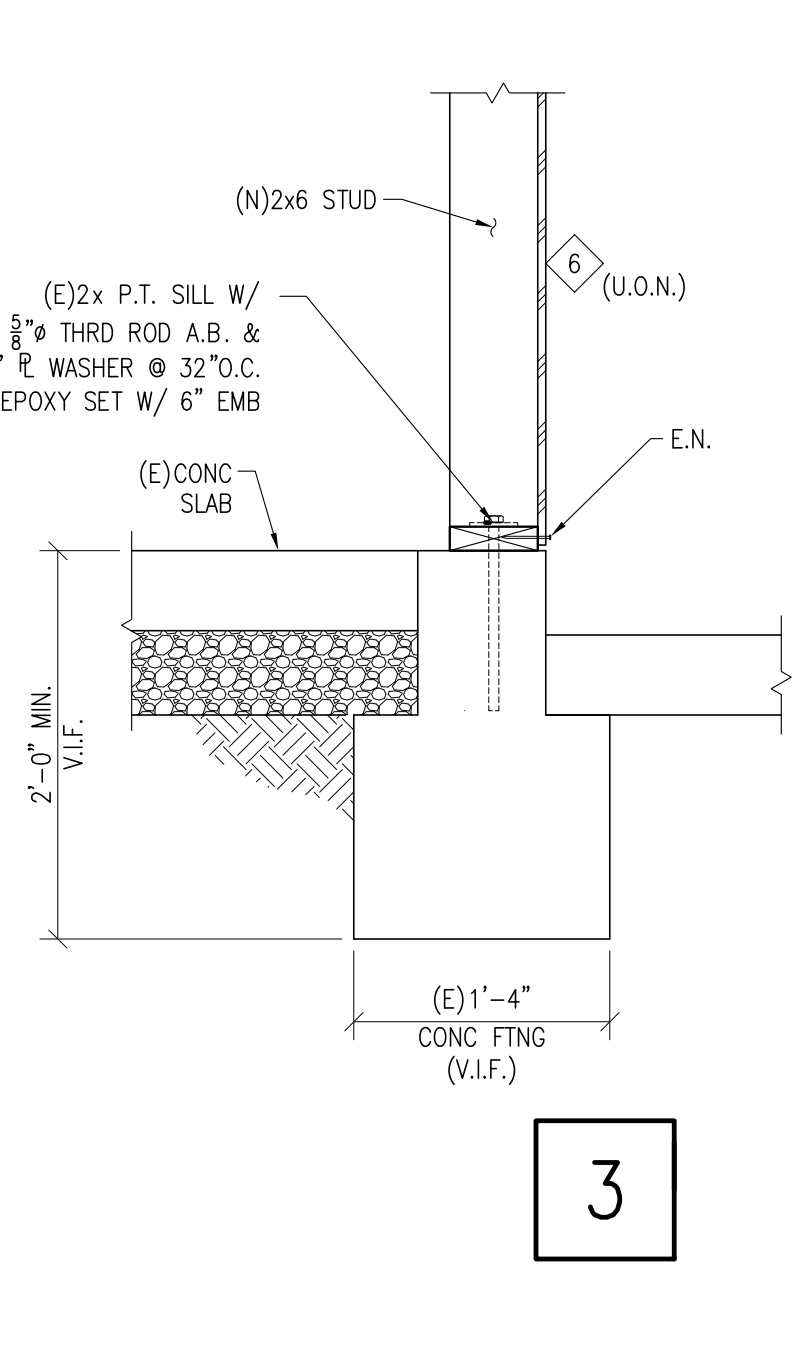
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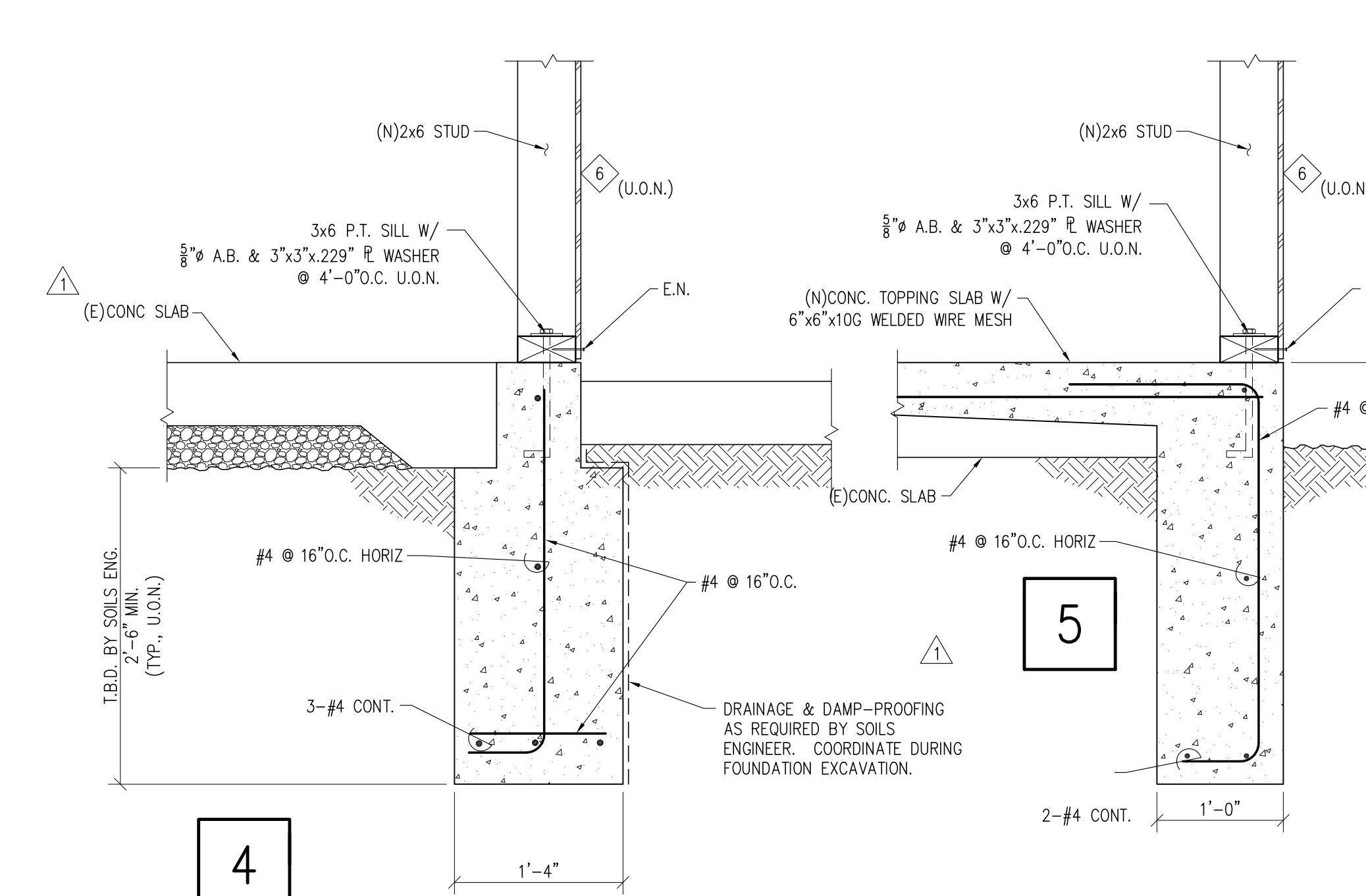
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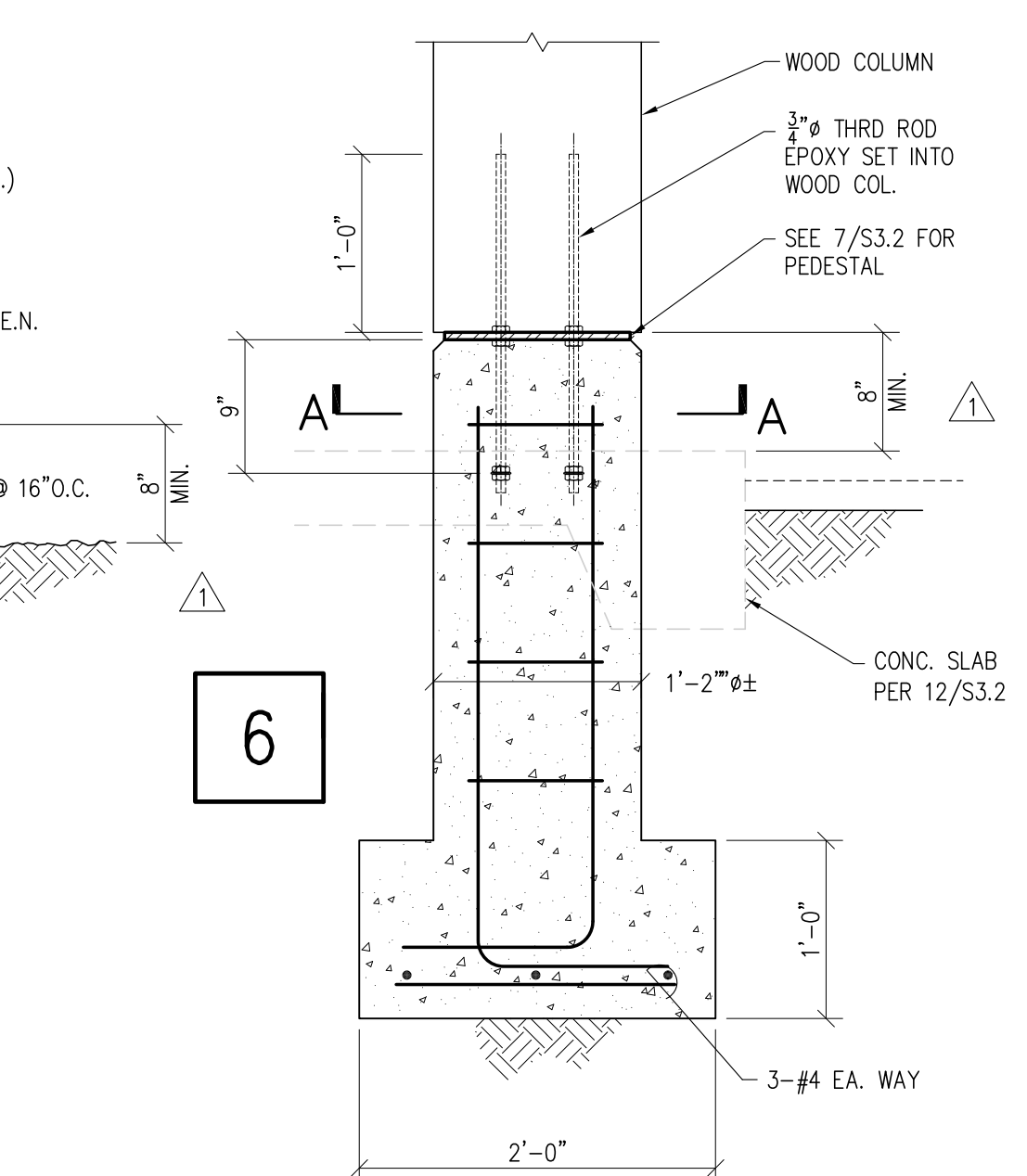
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6



6

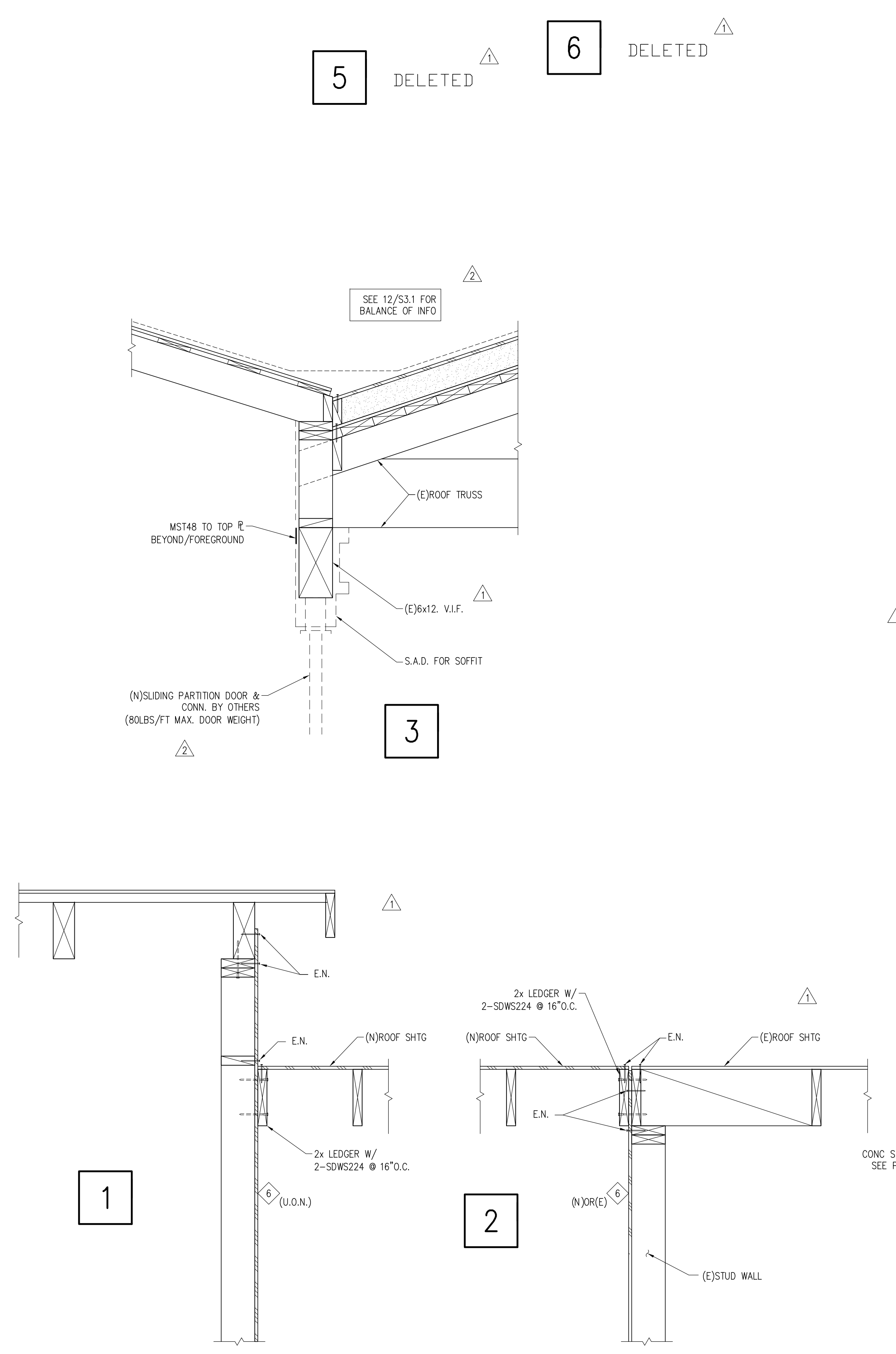


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JUL 06, 2020	PERMIT SUB - PC 2	RJ
SEP 15, 2020	CONST REV	RJ

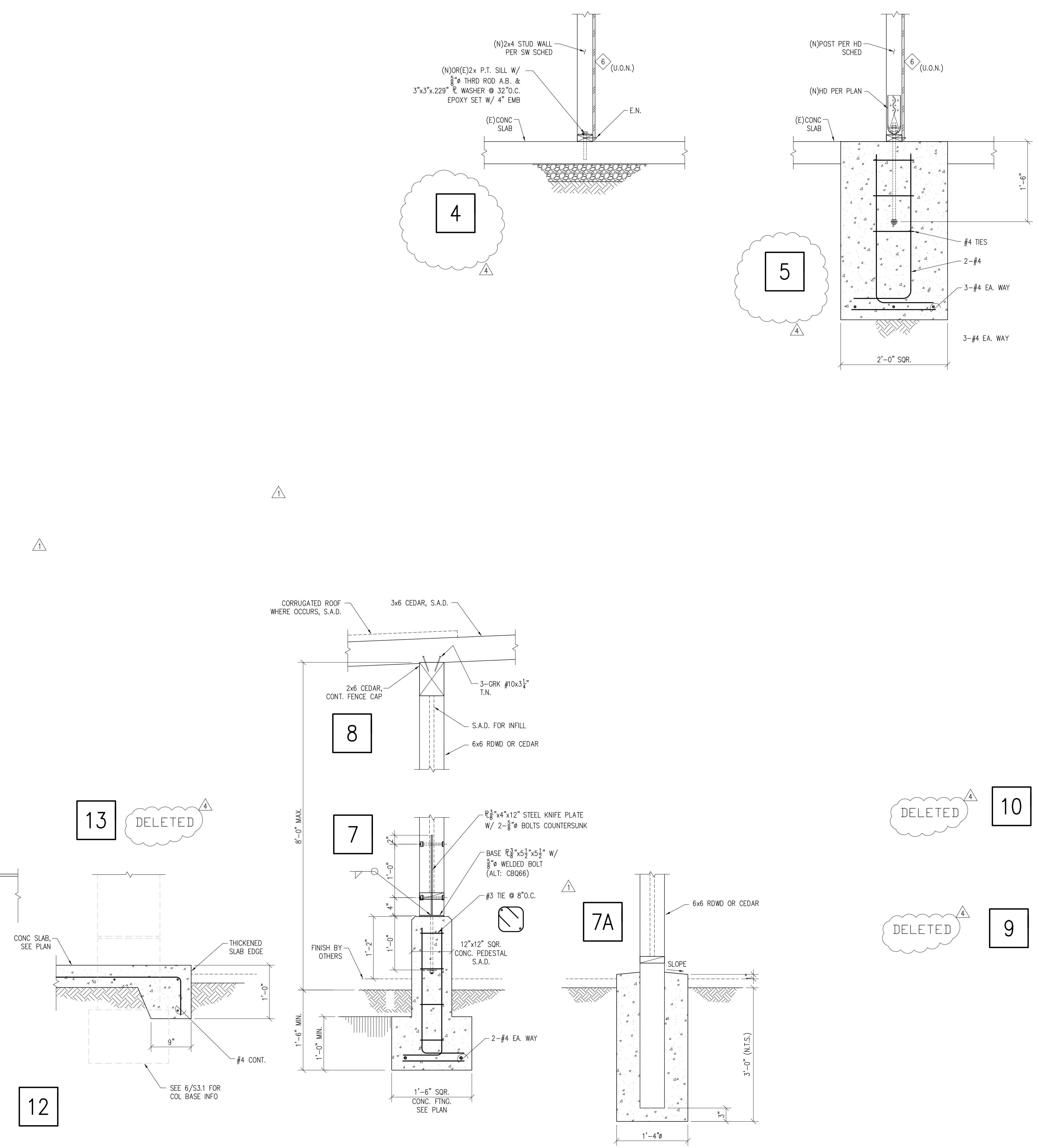
FLAT	DATE	BY
DRAWN		RJ
CHECKED		AJ
JOB #		19-57
SCALE		

SHEET TITLE:
 DETAILS
 ELEVATION
 SHEET:
S3.2



SCALE: 1"=1'-0" (U.O.N.)

SEE SHEAR WALL SCHEDULE FOR FASTENING DETAILS



12

SEE 6/S3.1 FOR COL. BASE INFO



QUESTIONS?
CONTACT THE TEAM